

Bank of America



Shipyard Plaza ATM- UB

Site ID #: NCW-728

Issue for Permit 05.29.18
Revised per Parking Lot 06.27.18
Plan Comment

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NISIT SAPPARKHAO, P.E.
NC REG. NO. 38066

UTILITY GENERAL NOTES:

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF RECORD OF ANY CONFLICTS IMMEDIATELY.
- CONTRACTOR TO COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE WITH LOCAL ELECTRIC COMPANY.
- CONTRACTOR TO INSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO POINT OF CONNECTION) AND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OPERATIONS.
- SEE SITE BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.

PAVING AND GRADING GENERAL NOTES:

- THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST. THIS PROJECT IS TO BE BUILT IN ONE PHASE.
- SEE BOUNDARY & TOPOGRAPHIC SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
- ALL DISTURBED AREAS WITHIN RIGHTS-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
- CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.

ELECTRICAL FLOOD PROOFING NOTES:

- ALL PIPING MUST BE PVC AND HAVE THREADED FITTINGS AT ALL JOINTS.
- ALL NEW CIRCUITS MUST HAVE A SEAL-OFF INSTALLED AT THE HIGHEST POINT IN THE PIPING PRIOR TO THE NEW "ATM" PANEL.
- THE ATM MUST HAVE A SEAL-OFF LOCATED WITHIN THE ELECTRICAL SUMP BENEATH THE ATM AND AT THE HIGHEST ELEVATION IN THE PIPING TO THE NEW "ATM" PANEL.
- A SEAL-OFF MUST BE INSTALLED AT THE HIGHEST POINT IN THE PIPING RUN LEAVING THE NEW METER TO FEED THE NEW "ATM" PANEL.
- ALL WIRING USED THROUGHOUT THE FACILITY MUST BE RATED THHN/THWN/THWN-2 AS REQUIRED FOR WET LOCATIONS.

DEMOLITION GENERAL NOTES:

- CONTRACTOR TO DEMOLISH AND REMOVE ALL IMPROVEMENTS AS NOTED.
- CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
- ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
- INFORMATION TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY.
- THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
- CONTRACTOR TO CLEAN ALL EXISTING STORMWATER STRUCTURES AND PIPES FOR STRUCTURES TO REMAIN.

SITE PLAN GENERAL NOTES:

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY AMB SURVEYING AND MAPPING, FIELD DATE: 10/19/2015.
- BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
- ALL TIES TO THE PROPERTY LINE ARE BASED ON THE BOUNDARY & TOPOGRAPHIC SURVEY.
- ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED.
- PROPOSED BUILDING IS TO BE ARCHITECTURALLY FINISHED ON ALL SIDES.

SITE DATA:

- PARCEL ID: R06506-006-001-000
- SITE ADDRESS: 2640 CAROLINA BEACH ROAD WILMINGTON, NC 28412
- OWNER/MAILING: THE ROSEMYR CORPORATION 231 SOUTH GARNETT STREET HENDERSON, NC 27536
- ZONING: RB - REGIONAL BUSINESS
SETBACK REQUIREMENT: FRONT - 25 FT
CORNER SIDE - 25 FT
INTERIOR SIDE - 0 FT
REAR - 25 FT
MAXIMUM BUILDING HEIGHT - 35 FT
MAXIMUM LOT COVERAGE 40%
- GROSS SITE AREAS: 397,228 SF OR 9.12 AC
- BUILDING SIZE: 27 SF (PROPOSED REMOTE ATM)
- FLOOD ZONE: THIS PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA ON FEMA FLOOD INSURANCE RATE MAP NO. 3720312600J, DATED APRIL 3, 2006.
- CAMA LAND USE CLASSIFICATION: URBAN
- TREE REMOVAL: NONE. THERE WILL BE NO TREE REMOVAL AS PART OF THIS PROJECT.

GENERAL NOTES:

SPECIFICATIONS FOR GENERAL CONTRACTORS PERFORMING WORK FOR BANK OF AMERICA

- UPON COMPLETION OF THE JOB, THE CONTRACTOR WILL PROVIDE THE OWNER WITH:
 - AS-BUILT DRAWINGS.
 - RELEASE OF LIENS FOR ALL SUB-CONTRACTORS.
 - A FINAL RELEASE OF LIENS FROM THE GENERAL CONTRACTOR.
 - THE ORIGINAL BUILDING PERMIT DRAWINGS WITH THE ORIGINAL INSPECTOR'S SIGNATURES.
- THE OWNER WILL NOT BE RESPONSIBLE FOR:
 - SECURITY OF MATERIALS OF WORK IN PLACE.
 - WARRANTY REPAIRS.
 - WINDOW BREAKAGE DURING CONSTRUCTION.
 - WORK STOPPAGES DUE TO WORK INTERFERING WITH OTHER TENANTS.
 - DELAYS DUE TO CHANGE ORDERS AND ARCHITECT-CONTRACTOR PROBLEMS.
 - PAYMENT OF ANY DRAW WILL BE SUBJECT TO THE OWNER'S REPRESENTATIVES AGREEING TO THE DEGREE OF COMPLETION. TEN PERCENT (10%) OF EACH DRAW WILL BE HELD AS A RETAINER UNTIL THE JOB IS COMPLETED, INCLUDING PUNCH LIST ITEMS, RELEASES OF LIEN, AND ACCEPTANCE OF THE SPACE BY BOTH THE TENANT AND LANDLORD.
- THE CONTRACTOR WILL: SECURE THE NECESSARY BUILDING PERMITS AND INSPECTIONS. INDEMNIFY AND KEEP HARMLESS THE OWNER FROM ALL LOSSES, DAMAGES, LIABILITIES, AND EXPENSES WHICH MAY ARISE OR BE CLAIMED AGAINST LANDLORD AND BE IN FAVOR OF ANY PERSONS, FIRMS, OR CORPORATIONS FOR ANY INJURIES OR DAMAGES TO THE PERSON OR PROPERTY OF ANY PERSONS, FIRMS, OR CORPORATIONS CONSEQUENT UPON OR ARISING FROM THE CONSTRUCTION, USE, OR OCCUPANCY OF LEASED PREMISES BY THE CONTRACTOR OR CONSEQUENT UPON OR ARISING FROM ANY ACTS, OMISSIONS, NEGLIGENCE, OR FAULT OF THE CONTRACTOR, HIS AGENTS, SERVANTS, EMPLOYEES, LICENSEES, VISITORS, CUSTOMERS, PATRONS, OR INVITEES, OR CONSEQUENT UPON OR ARISING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH ANY LAWS, STATUTES, ORDINANCES, CODES, OR REGULATIONS; THAT THE OWNER SHALL NOT BE LIABLE TO THE CONTRACTOR FOR ANY DAMAGES, LOSSES OR INJURIES TO THE PERSONS, FIRMS, OR CORPORATIONS EXCEPT WHEN SUCH INJURY, LOSSES, OR DAMAGES RESULTS FROM NEGLIGENCE OF THE OWNER, HIS AGENTS, OR EMPLOYEES, AND THAT THE CONTRACTOR WILL INDEMNIFY AND KEEP HARMLESS THE OWNERS AND BE IN FAVOR OF ANY PERSONS, FIRMS AND CORPORATIONS FOR ANY INJURIES OR DAMAGES TO THE PERSON, OR THE PROPERTY OF ANY PERSONS, FIRMS, OR CORPORATIONS WHERE SAID INJURIES OR DAMAGES AROSE ABOUT OR UPON THE LEASED PREMISES AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES, SERVANTS, LICENSEES, VISITORS, CUSTOMERS, PATRONS, AND INVITEES. ALL PERSONAL PROPERTY PLACES OR MOVED INTO THE OR OUT OF THE BUILDING SHALL BE AT THE RISK OF THE CONTRACTOR OR THE OWNER, THEREFORE AND THE OWNERS SHALL NOT BE LIABLE TO THE CONTRACTOR FOR ANY DAMAGES TO ANY PERSON PROPERTY.
- THE CONTRACTOR WILL CONFINE THE CONSTRUCTION DEBRIS AND DUST TO THE CONSTRUCTION AREA, AWAY FROM OCCUPIED AREAS. ALL AREAS OF THE BUILDING, ESPECIALLY ACCESS AREAS AND COMMON AREAS, ARE TO BE MAINTAINED IN A CLEAN AND ORDERLY FASHION. THE CONTRACTOR IS TO TURN THE IMPROVED PREMISES OVER TO THE PROPERTY MANAGER IN A CLEAN CONDITION, READY FOR OCCUPANCY BY THE TENANT.
- THE CONTRACTOR WILL REMOVE ALL TRASH AND DEBRIS, INCLUDING EXCESS BUILDING MATERIALS FROM THE CONSTRUCTION SITE AND THE BUILDING AND NO UNREASONABLE ACCUMULATION BE ALLOWED.
- THE CONTRACTOR WILL COORDINATE THE DELIVERY OF MATERIALS AND THE USE OF THE FREIGHT ELEVATOR AND REMOVAL OF DEBRIS WITH THE PROPERTY MANAGER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PARKING CHARGES OF HIS EMPLOYEES, SUB-CONTRACTORS, AND VENDORS.
- THE CONTRACTOR WILL SUBMIT ALL CHANGE ORDERS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL AND THE BLUEPRINTS ARE THE BE REVISED ACCORDINGLY.
- THE CONTRACTOR WILL EXERCISE ALL DUE DILIGENCE IN MAINTAINING A SAFE WORKING ENVIRONMENT AND TO ABIDE BY ALL OSHA REGULATIONS.
- UPON COMPLETION, THE CONTRACTOR WILL REMOVE ALL FOREIGN MATERIALS FROM WINDOWS, FLOORS, GLASS, HARDWARE, AND RESTROOM FIXTURES.
- THE CONTRACTOR WILL NOT UNDULY DISTURB THE PEACEFUL ENJOYMENT OF ANY TENANTS IN THE BUILDING. ALL

DISRUPTIVE WORK WILL BE COORDINATED WITH THE PROPERTY MANAGER.

- THE CONTRACTOR IS TO PROVIDE FIVE (5) COPIES OF ALL SHOP DRAWINGS, PRODUCT INFORMATION SUBMITTALS, AND ALL OTHER SUBMITTALS REQUIRED FOR REVIEW, ETC. AT LEAST TWO (2) OF THE ABOVE COPIES SHALL BE ORIGINALS.

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS OF THE WORK PRIOR TO SUBMITTING A BID.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENTING OF THE WORK IN THE AREA IN QUESTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE TO THE LATEST EDITION OF THE FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE CODES.
- IMPACT FEES, WATER AND SEWER CONNECTIONS FEES AND DEPOSITS FOR PERMANENT UTILITY SERVICES SHALL BE PAID FOR BY THE OWNER. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR THE OWNER WHEN THESE FEES APPLY PRIOR TO THE START IF THE CONSTRUCTION OF THE PROJECT.
- ANY ITEM OF WORK NECESSARY TO THE PROPER COMPLETION OF THE CONSTRUCTION WHICH IS NOT SPECIFICALLY COVERED IN THESE DOCUMENTS SHALL BE PERFORMED IN THE MATTERS DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.
- ALL NEW MATERIALS AND FINISHES SHALL MATCH EXISTING, UNLESS SPECIFIED OTHERWISE, SE OWNER AND/OR ARCHITECT FOR APPROVAL OF ALTERNATIVES.
- PROVIDE WATER PROOFING MEMBRANE OF ALL NEW CONCRETE SLAB ON GRADE POURS.

USE AND INTERPRETATION OF THESE DRAWINGS:

- GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, ARE A PART OF A CONTRACT DOCUMENTS AS DESCRIBE USE AND INTENT OF THE DRAWINGS. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER-CONTRACTOR AGREEMENT, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.
- BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE. THE CONTRACTOR REPRESENTS THAT HE AS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- THE CONTRACT SUM AND THE CONTRACT TIME MAY BE CHANGED ONLY BY CHANGE ORDER TO THE CONTRACTOR SIGNED BY THE OWNER AND THE ARCHITECT. ANY WORK PERFORMED IN VARIANCE WITH THE ORDER FOR A MINOR CHANGE IN THE WORK OR A CHANGE ORDER, WILL NOT BE ACCEPTED.
- AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ARCHITECT. ANY SUBMISSION OR DISTRIBUTION WITHOUT THE EXPRESS WRITTEN CONSENT ON THE ARCHITECT MAY BE CONSIDERED AS DEGRADATION OF THE ARCHITECT'S COPYRIGHTS OR OTHER RESERVED RIGHTS.
- SOIL BEARINGS CAPACITIES HAVE BEEN ASSUMED AT 2000 P.S.I. UNLESS OTHERWISE CERTIFIED HEREIN. SHOULD CONDITIONS OR MATERIALS BE ENCOUNTERED THAT REDUCE THE BEARING CAPACITIES OF THE SOIL THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF THESE CONDITIONS PRIOR TO THE EXECUTION OF THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENTS BEFORE ANY WORK AFFECTED THEREBY IS COMMENCED.

A.D.A

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A ACCESSIBILITY GUIDELINES AS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT HANDBOOK, AS PUBLISHED BY THE EQUAL EMPLOYMENT OPPORTUNITY COMMISSION AND THE U.S. DEPARTMENT OF JUSTICE ON OCTOBER 1991. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE

IMPLEMENTATION OF SUCH.

SITE WORK:

- CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK SHALL VISIT THE SITE AND VERIFY THE LOCATION OF ALL UTILITIES AND DETERMINE THEIR CAPACITIES.
- COORDINATE ALL TIE IN AND SERVICE TO UTILITIES WITH THE UTILITY COMPANIES.
- PROVIDE AND PLACE ANY ADDITIONAL FILL NEEDED TO BRING EXISTING GRADES TO NEW GRADES AS INDICATED ON THE DRAWINGS OR AS SPECIFIED BY THE BUILDING AND ZONING DEPARTMENTS.
- COMPLETELY REMOVE ALL TREES, SHRUBS, STUMPS, SOD AND ALL OTHER DEBRIS FROM AREAS TO BE COVERED BY THE BUILDING AND PAVED AREAS.
- ALL FILL MATERIALS SHALL BE SAND, CLEAN AND FREE FROM ORGANIC DEBRIS.
- ALL ASPHALT CONCRETE AND PAVED AREAS SHALL HAVE A SIX INCH (6") CRUSHED STONE BASE UNIFORMLY GRADED AND COMPACTED.
- ALL FILL UNDER CONCRETE SHALL BE DEPOSITED IN THIN LAYERS, SLUSHED, TAMPED AND COMPACTED PRIOR TO CONCRETE POUR.

CONCRETE:

- TAMP FRESH POURED CONCRETE WITH STEEL RAMMER AND SLICING TOOLS UNTIL CONCRETE IS THOROUGHLY COMPACTED AND WITHOUT VOIDS.
- CONCRETE COVER SHALL BE 3" WHEN DEPOSITED AGAINST GROUND, 2" WHEN FORMED BUT IN CONTACT WITH THE GROUND, 1-1/2" IN FORMED COLUMNS AND BEAMS, AND 3/4" WHEN SLABS AND WALLS.
- CONCRETE SHALL HAVE SLUMP OF 5" MAX. AND A MIN. COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS: FOUNDATION AND SLAB ON GRADE - 3000 P.S.I. COLUMNS AND BEAMS - 3000 P.S.I.
- CONTRACTOR SHALL COORDINATE FINISHES OF SLABS AS TO ALLOW DIRECT PLACEMENT OF FINISH FLOORING WITHOUT ADDITIONAL LEVELING, FILLING, OR CUTTING.
- SLAB ON FILL SHALL BE POURED ON 6 MIL. VISQUEEN VAPOR BARRIER. WORKMEN SHALL AVOID WORKING ON BARRIER PRIOR TO POURING CONCRETE.
- ANY STRUCTURAL MEMBER PENETRATING THE SLABS ON FILL SHALL BE ISOLATED WITH 1/2" THICK PRE-MOLDED JOINT FILLER COMPLYING WITH ASTM D-1732 TYPE 1.

REINFORCEMENT:

- REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615.68 SPECIFICATIONS FOR NEW DEFORMED BILLET STEEL AND TO GRADE 60 WITH A MIN. YIELD STRENGTH OF 60,000 P.S.I. IT SHALL BE DETAILED, FABRICATED AND PLACED AS RECOMMENDED BY A.C.I.

ELECTRICAL:

- THE DRAWINGS INDICATE THE LOCATION OF EQUIPMENT, RUNS, AND OUTLETS DIAGRAMMATICALLY. INDICATED LOCATIONS ARE ESSENTIAL TO THE OVERALL AESTHETIC CONCEPT. IN THE EVENT THAT CHANGES MUST BE MADE DUE TO DEVELOPED CONDITIONS IN THE CONSTRUCTION, THE ARCHITECT SHALL BE NOTIFIED SO THAT THE APPROPRIATE CHANGES IN LOCATIONS BE MADE PRIOR TO INSTALLATION. UNDER NO CIRCUMSTANCE IS THE SUB-CONTRACTOR TO ASSUME LOCATIONS OF THE EQUIPMENT, RUNS OR OUTLETS WHICH ARE EXPOSED TO VIEW.
- ALL PULL AND J-BOXES ARE TO BE COMPLETELY CONCEALED.
- SUB-CONTRACTOR SHALL OBTAIN THE APPROPRIATE INSPECTOR'S APPROVAL/ACCEPTANCE OF THE INSTALLATION.

CITY OF WILMINGTON - GENERAL NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.



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City of Wilmington Approval Blocks

City of Wilmington Public Services • Engineering Division
APPROVED PLAN - NO PERMIT REQUIRED

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

| Date | Description |
|----------|---------------------------------------|
| 05.17.18 | ISSUE FOR REVIEW |
| 05.29.18 | ISSUE FOR PERMIT |
| 06.27.18 | REVISED PER PARKING LOT PLAN COMMENTS |

Seal / Signature _____

NISIT SAPPARKHAO, P.E.
NC REG. NO. 38066

DATE _____

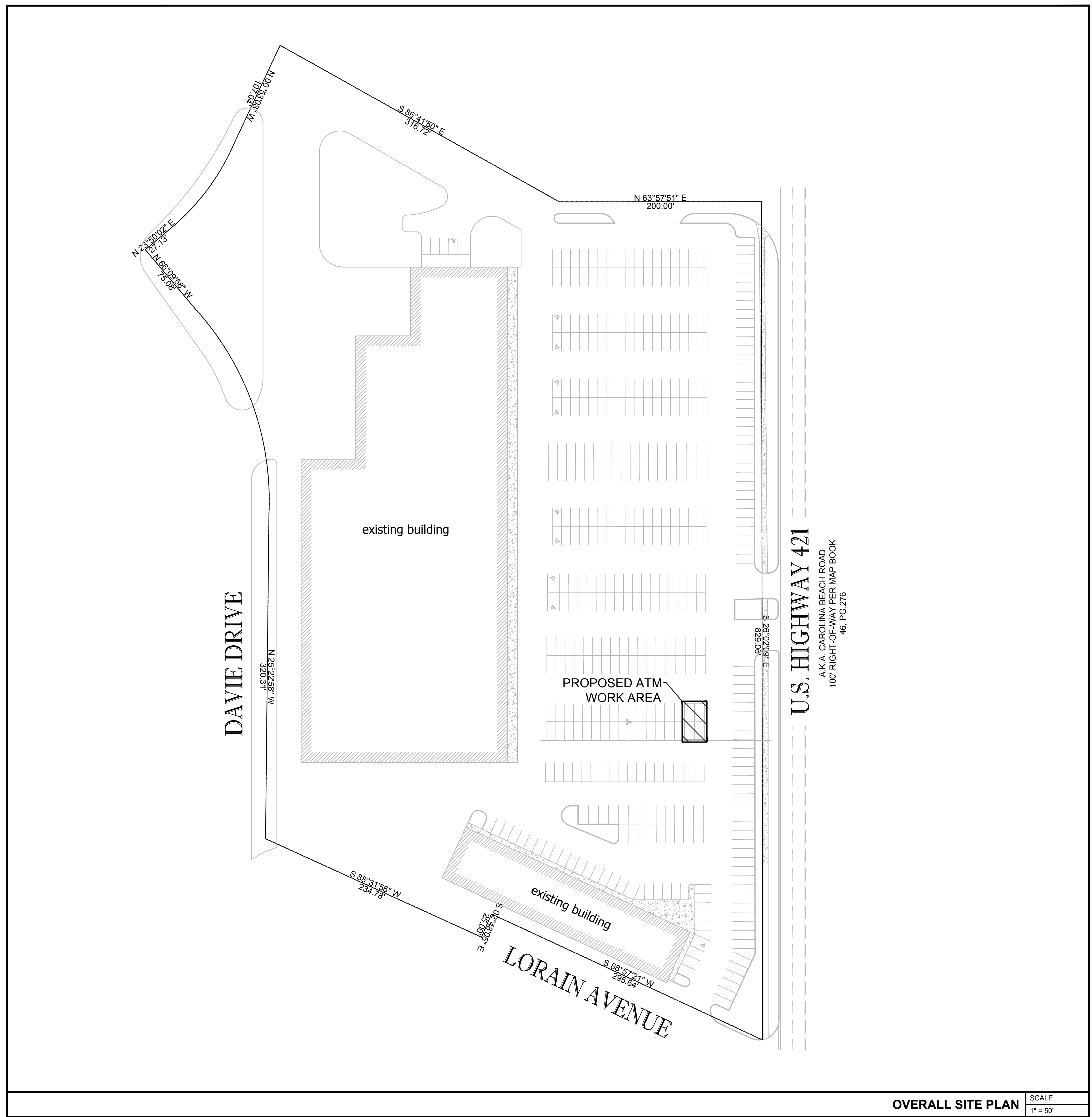
Project Name
Shipyard Plaza ATM- UB

Project Number
69.6191.980 / 10-629.00

Scale
AS INDICATED

Description
CIVIL SPECIFICATIONS

C00.01



OVERALL SITE PLAN

SCALE
1" = 50'

LEGEND:

| | |
|--|-------------------|
| | HANDICAP PARKING |
| | EXISTING CONCRETE |
| | EXISTING |

SITE AREAS:

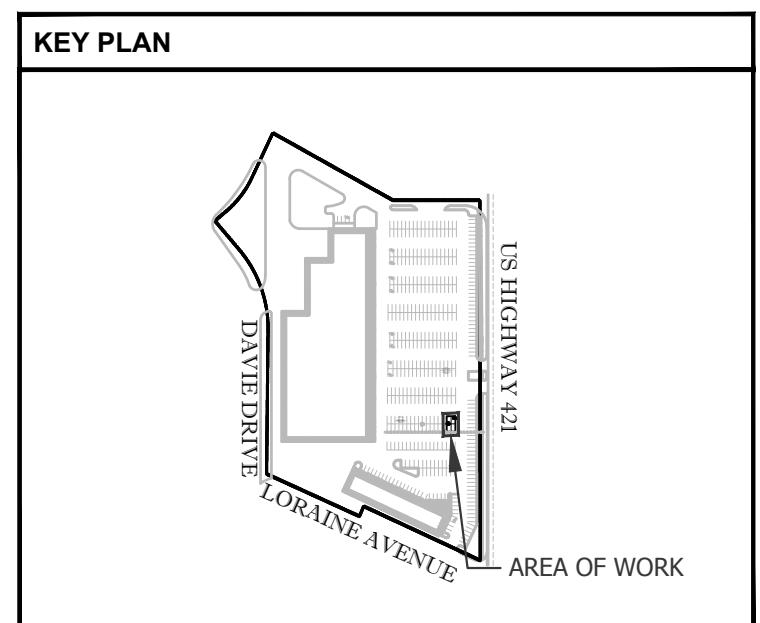
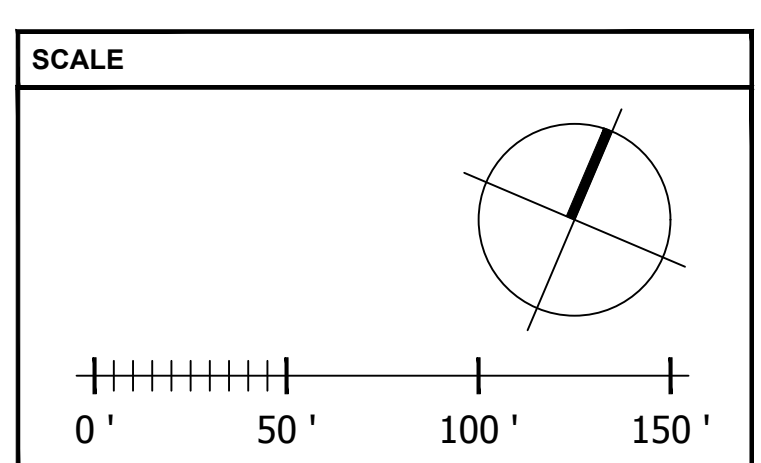
| | PROPOSED AREAS | | EXISTING AREAS | |
|------------------|----------------|--------------------|----------------|------|
| GROSS SITE AREA | = | 397,228.66 SF 100% | 397,228.66 SF | 100% |
| PERVIOUS AREA: | = | 42,695.85 SF 11% | 42,695.85 SF | 11% |
| IMPERVIOUS AREA: | = | 354,632.81 SF 89% | 354,632.81 SF | 89% |

PARKING DATA:

| | | |
|---|---|------------|
| EXISTING PARKING SPACES | = | 420 SPACES |
| PARKING SPACES TO BE REMOVED FOR PROPOSED ATM | = | 4 SPACES |
| PROPOSED PARKING SPACES | = | 416 SPACES |

TREE REMOVAL NOTE:

THERE WILL BE NO TREE REMOVAL AS PART OF THIS PROJECT.



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Shipyard Plaza ATM- UB
 2640 Carolina Beach Rd., Wilmington, NC 28401

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 & Associates Inc.
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 NC Firm Certificate No. P-1836

City of Wilmington Approval Blocks

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED

Signed: _____

Approved Construction Plan
 Name: _____ Date: _____

Planning: _____
 Traffic: _____
 Fire: _____

| Date | Description |
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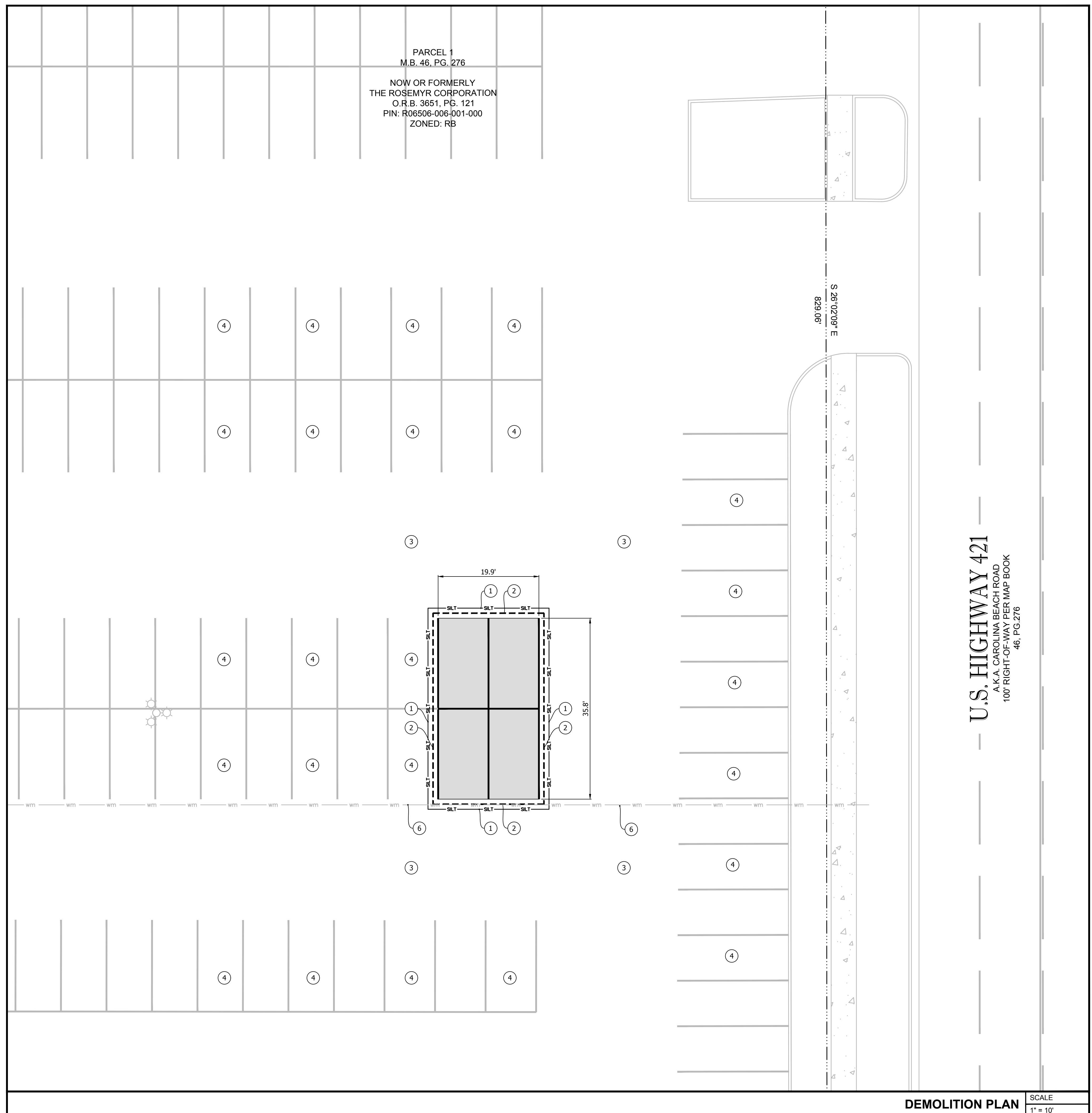
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Scale
 AS INDICATED

Description
 OVERALL SITE PLAN

C01.00



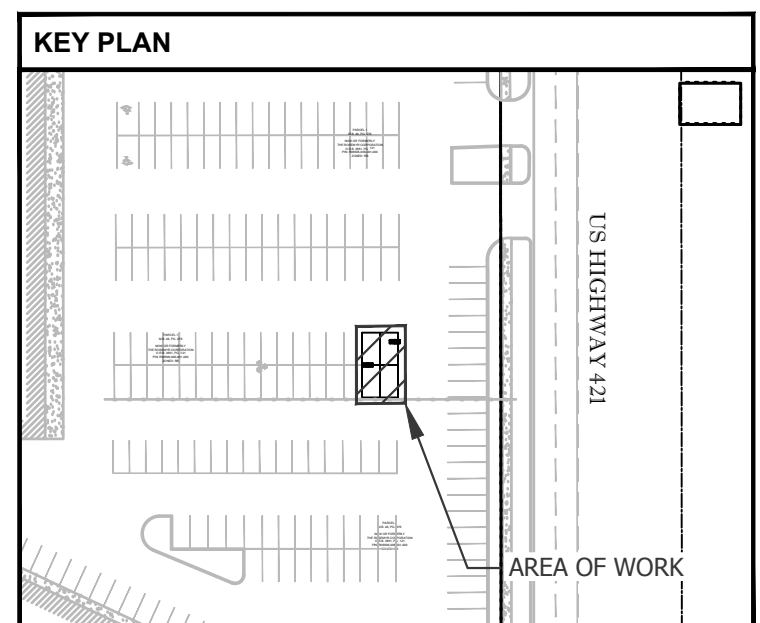
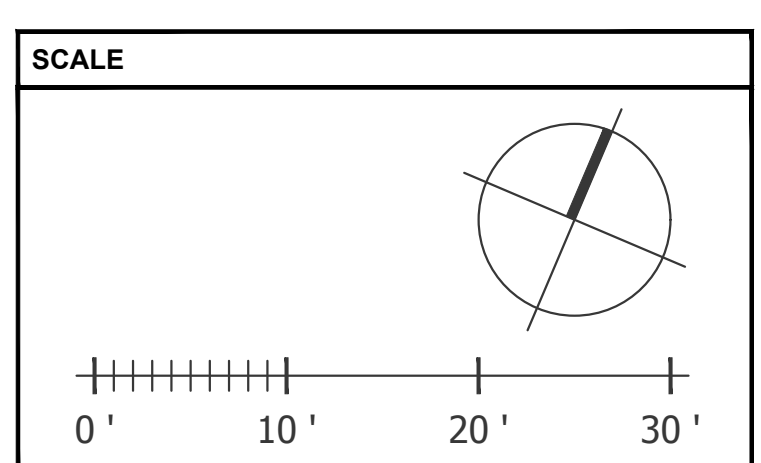
LEGEND:

| | |
|--|--|
| | CONCRETE SIDEWALK TO BE SAWCUT AND REMOVED |
| | ASPHALT PAVEMENT TO BE REMOVED |
| | EXISTING CONCRETE TO REMAIN |
| | EXISTING TO BE REMOVED |
| | EXISTING TO REMAIN |

- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
 2. ALL EXISTING IMPROVEMENTS ARE TO REMAIN UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WITHIN AREA OF WORK TO BE PERFORMED PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
 4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
 5. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, THE CONTRACTOR SHALL COMPLY WITH REGULATIONS. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF ITS PERSONNEL. LABOR SAFETY REGULATIONS SHALL BE AS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF LABOR.
 6. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

KEYED NOTES:

| | |
|---|---|
| ① | EROSION CONTROL (36" HEIGHT SILT FENCE) |
| ② | LIMITS OF CONSTRUCTION |
| ③ | EXISTING DRIVEWAY AND DRIVE AISLES TO REMAIN |
| ④ | EXISTING PARKING TO REMAIN |
| ⑤ | EXISTING ASPHALT PAVEMENT TO BE REMOVED (NOTE: BASE AND SUB-BASE TO BE REMOVED WITHIN LIMITS OF NEW LANDSCAPE ISLAND) |
| ⑥ | EXISTING 8" DI WATERMAIN TO REMAIN |



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NORTH CAROLINA
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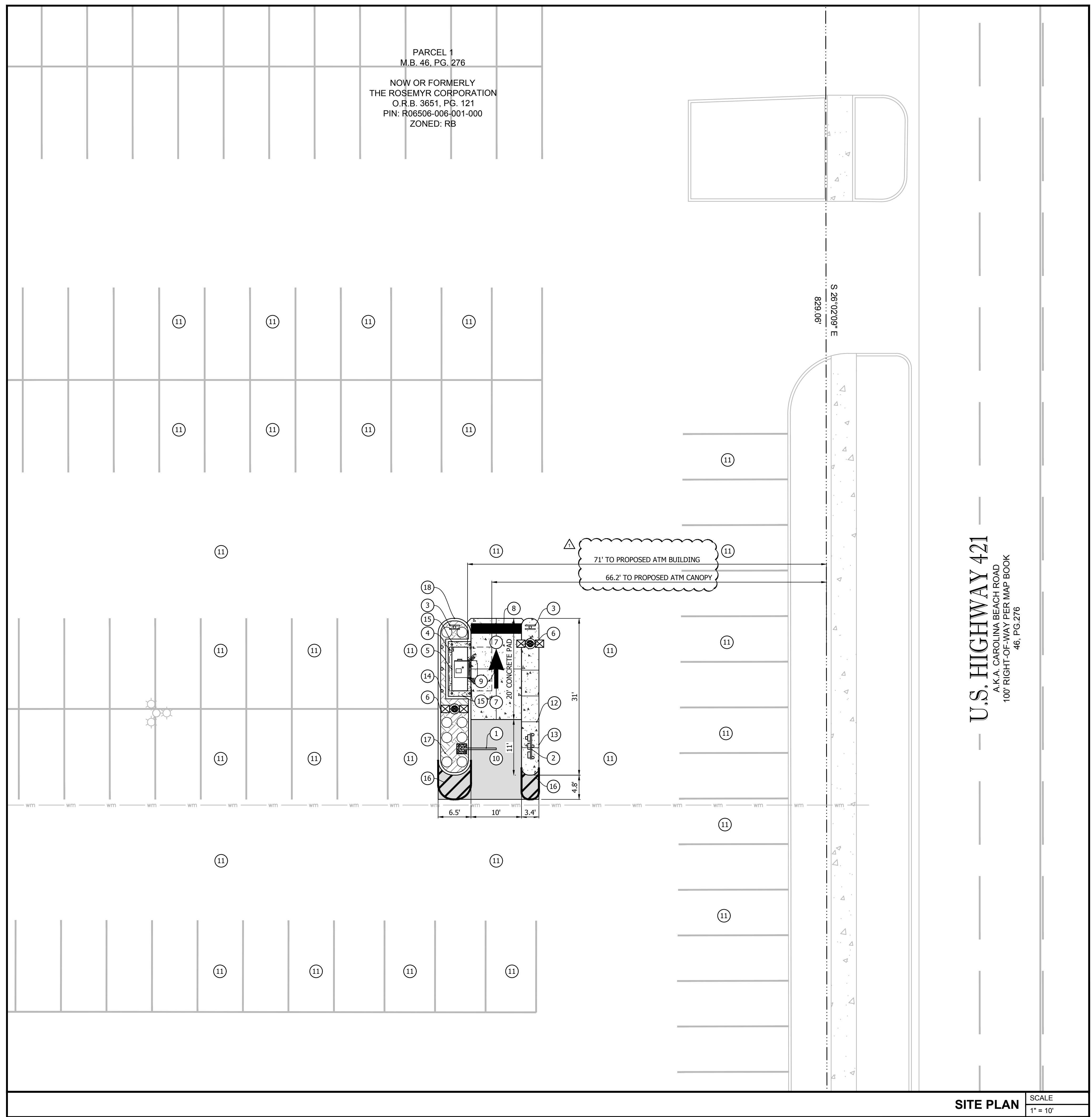
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Shipyard Plaza ATM- UB

Project Number
69.6191.980 / 10-629.00

Scale
AS INDICATED

Description
DEMOLITION PLAN

C01.01



PARCEL 1
M.B. 46, PG. 276
NOW OR FORMERLY
THE ROSEMYR CORPORATION
O.R.B. 3651, PG. 121
PIN: R06506-006-001-000
ZONED: RB

U.S. HIGHWAY 421
A.K.A. CAROLINA BEACH ROAD
100' RIGHT-OF-WAY PER MAP BOOK
46, PG. 276

LEGEND:

| | |
|--|---------------------------|
| | PROPOSED CONCRETE |
| | EXISTING CONCRETE |
| | PROPOSED ASPHALT PAVEMENT |
| | PROPOSED MULCH |
| | EXISTING CURBING |
| | PROPOSED CURBING |
| | H/C AND PARKING STRIPING |

LANDSCAPE & IRRIGATION NOTES:

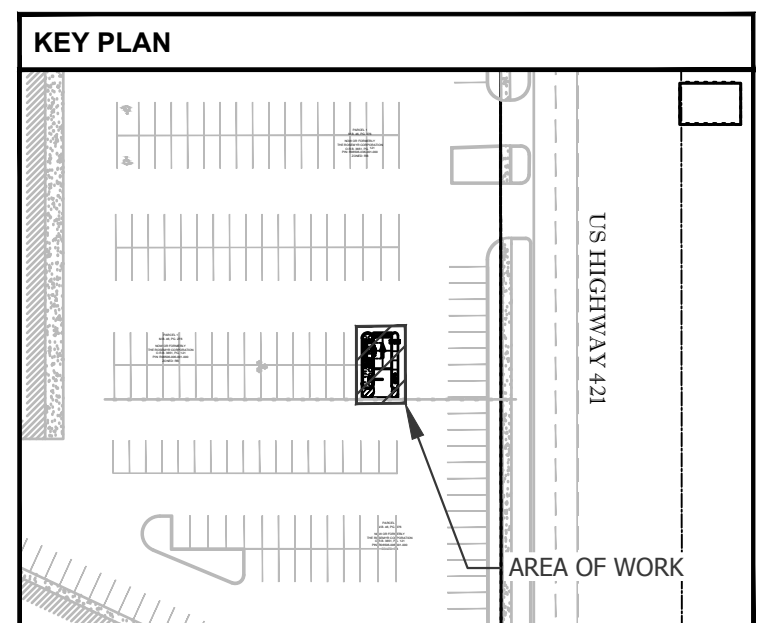
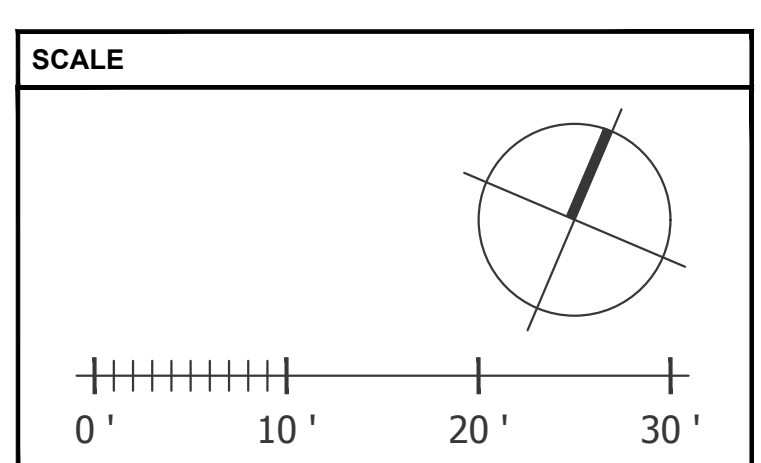
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL HAVE THE TURF RESTORED TO EXISTING CONDITIONS (OR BETTER), UNLESS OTHERWISE INDICATED IN THE PLANS OR SPECIAL PROVISIONS.
- DROUGHT TOLERANT XERISCAPING HAS BEEN DESIGNED FOR THIS PROJECT.
- CONNECTION TO IRRIGATION SYSTEM IS NOT PROPOSED. OWNER IS RESPONSIBLE TO MAINTAIN AND WATER THE LANDSCAPING WITH HOSE BIB/WATER TANKER AS AND WHEN REQUIRED.
- ANY PLANTED MATERIAL THAT BECOMES DAMAGED OR DISEASED OR DIES, OR IS IMPROPERLY MAINTAINED SHALL BE REPLACED BY THE OWNER WITHIN SIXTY (60) DAYS OF THE OCCURRENCE OF SUCH CONDITION. IF IN THE OPINION OF THE CITY MANAGER, THERE ARE SEASONAL CONDITIONS WHICH WILL NOT PERMIT THE TIMELY REPLACEMENT OF THE VEGETATION (E.G., TOO HOT OR TOO COOL FOR SUCCESSFUL REPLANTING) THIS REQUIREMENT MAY BE ADMINISTRATIVELY WAIVED UNTIL A TIME CERTAIN SUCH THAT THE REPLANTING WOULD BE SAFE.

EXPANSION JOINT NOTE:

CONTRACTOR TO INSTALL EXPANSION JOINTS ALONG ALL NEW SIDEWALK WHEN ABUTTING NEW AND EXISTING STRUCTURES AND EXISTING CONCRETE SIDEWALKS.

KEYED NOTES:

| | |
|----|---|
| 1 | NEW CLEARANCE BAR |
| 2 | FREE STANDING ELECTRICAL/DATA SERVICE RACK |
| 3 | NEW "DO NOT ENTER" / "STOP" SIGN |
| 4 | NEW ATM FOUNDATION / CONCRETE SLAB |
| 5 | NEW HYOSUNG 7800IC DU ATM WITH FRAME-R-UB-DU-H7800I-CEN1 AND REQUIRED BOLLARDS |
| 6 | NEW LIGHT POLE (TYPICAL OF 2) |
| 7 | NEW 6-INCH CONCRETE PAVEMENT |
| 8 | NEW 24" "WHITE" PAINTED STOP BAR |
| 9 | NEW "WHITE" PAINTED DIRECTIONAL ARROW (TYPICAL) |
| 10 | NEW ASPHALT PAVEMENT |
| 11 | EXISTING DRIVE AISLES/PARKING |
| 12 | SAWCUT A 1/4" CONTROL JOINT AS SHOWN. NEW CONTROL JOINT DEPTH MUST BE A MINIMUM OF 25% OF THE OVERALL SLAB DEPTH AND BE PERFORMED WITHIN 12 HR OF POUR. (TYPICAL). SEE DETAIL SHEET C12.01. |
| 13 | NEW RAISED CONCRETE ISLAND (TYPICAL) |
| 14 | NEW 6" BOLLARD (TYP OF 3) @ 4' O.C. |
| 15 | EXPANSION JOINT (TYP) |
| 16 | NEW 4" WHITE PAINT STRIPING @ 24" O.C. |
| 17 | EIGHT (8) 3-GALLON DWARF YAUPON HOLLY PLANTS WITHIN NEW LANDSCAPE AREAS AT 3- FEET OFF CENTER. INSTALL NEW CYPRESS MULCH. MULCH TO A DEPTH OF 3-INCHES |
| 18 | 6"X18" VERTICAL CURB (TYPICAL). SEE DETAIL, SHEET C12.01. ASPHALT TO HAVE A SAWCUT CLEAN EDGELINE WHEN ABUTTING EXISTING ASPHALT PAVEMENT |



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& Associates Inc.
Gensler
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City of Wilmington Approval Blocks

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED PLAN - NO PERMIT REQUIRED

Signed: _____
Approved Construction Plan
Name _____ Date _____

Planning _____
Traffic _____
Fire _____

| Date | Description |
|----------|---------------------------------------|
| 05.17.18 | ISSUE FOR REVIEW |
| 05.29.18 | ISSUE FOR PERMIT |
| 06.27.18 | REVISED PER PARKING LOT PLAN COMMENTS |

Seal / Signature

NISIT SAPPARKHAO, P.E.
NC REG. NO. 38066

DATE _____

Project Name
Shipyard Plaza ATM- UB

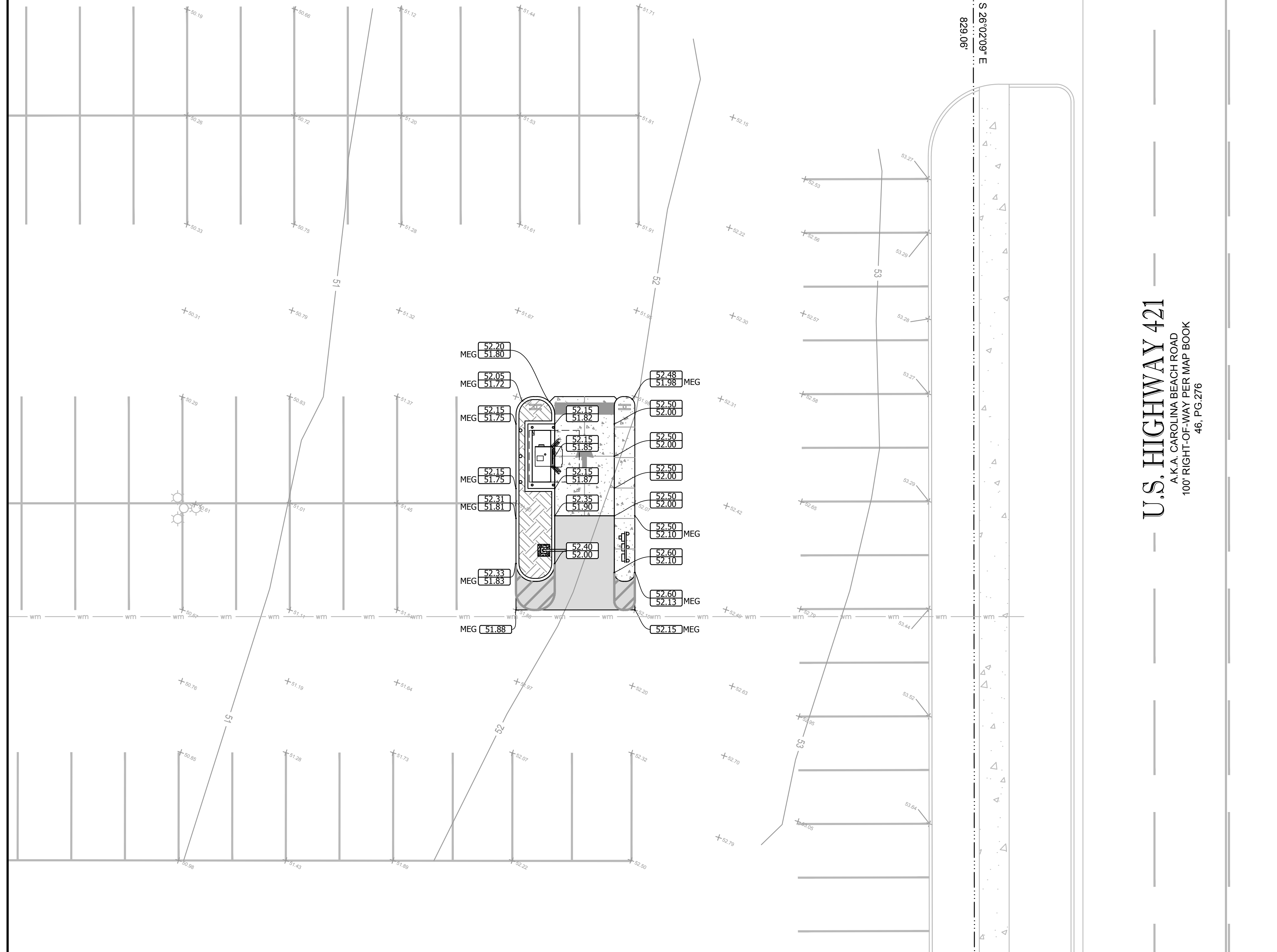
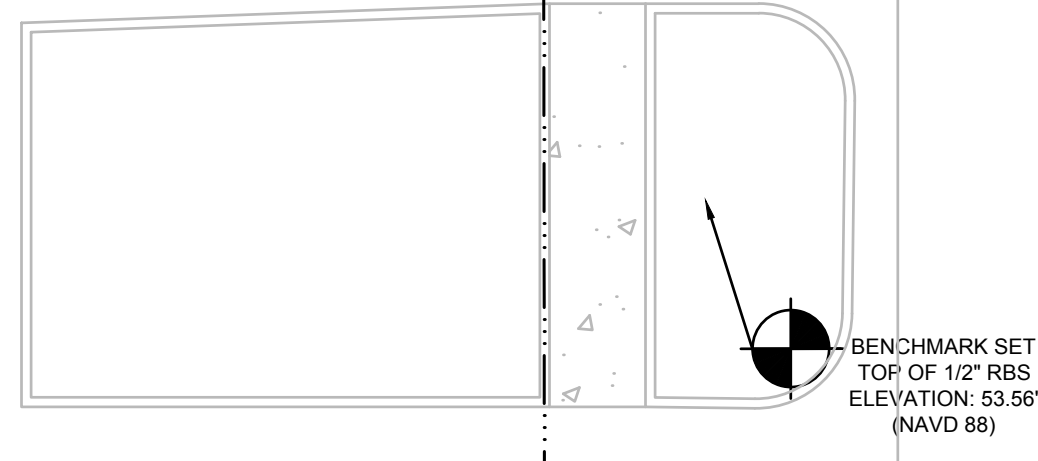
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Description
SITE PLAN

C02.01

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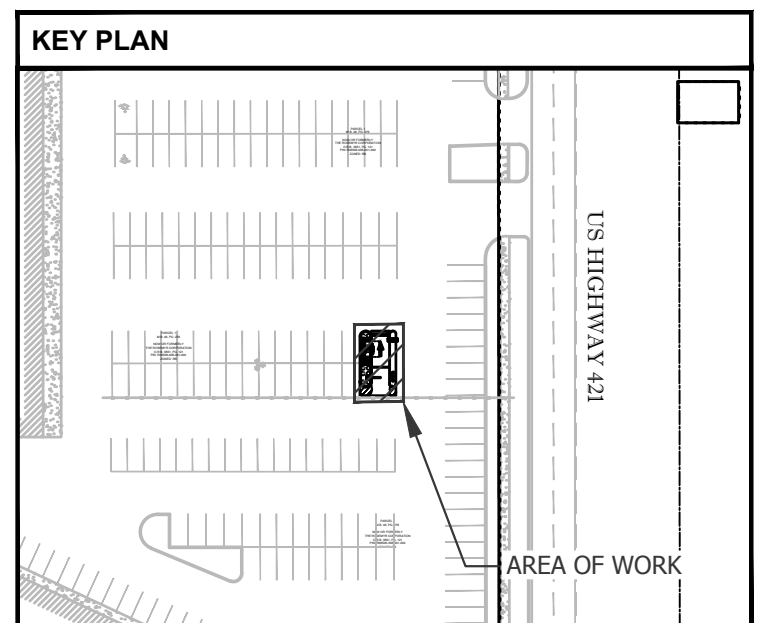
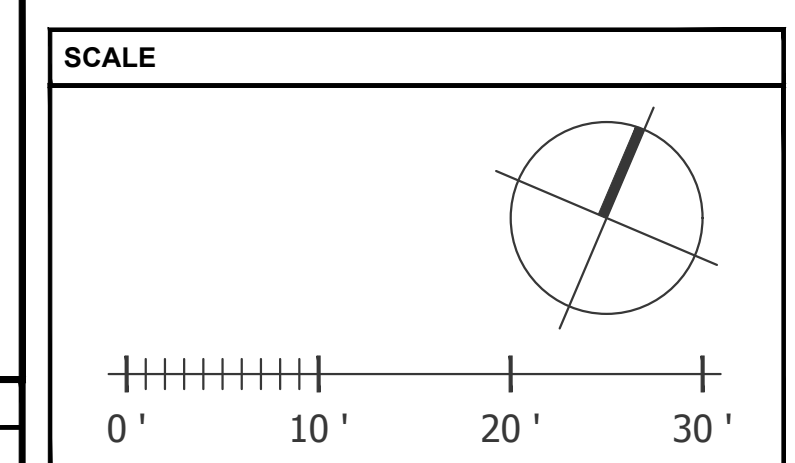
LEGEND:

| | |
|--|--|
| | EXISTING CONCRETE |
| | PROPOSED CONCRETE |
| | PROPOSED CURB |
| | EXISTING CURBING |
| | HIGH POINT |
| | EXISTING GRADE |
| | PROPOSED TOP OF CONCRETE ELEVATION IN FEET. |
| | PROPOSED EDGE OF PAVEMENT ELEVATION IN FEET. |
| | PROPOSED EDGE OF PAVEMENT ELEVATION IN FEET. |
| | FINISH FLOOR ELEVATION |
| | MATCH EXISTING GRADE |
| | TOP OF CONCRETE |

- GRADING NOTE:**
- ADJUST EXISTING BASE THICKNESS DEPTH AS NEEDED TO MEET THE PROPOSED GRADES.
 - BUILDING AND PEDESTRIAN SIDEWALKS AND PEDESTRIAN CROSSING TO HAVE A MAXIMUM OF 2.00% CROSS SLOPE AND 5.00% RUNNING SLOPE.
 - CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERN TO PREVENT ANY PONDING AREA.
 - ALL IMPROVEMENTS WITHIN DASHED LINES ARE TO HAVE A SLOPE NO MORE THAN 2.00% IN ANY DIRECTION.
 - ALL FINISHED LANDSCAPING TO HAVE A SLOPE NO MORE THAN 33.33% (1 TO 3) UNLESS OTHERWISE SPECIFIED.

EROSION CONTROL MEASURE NOTES:

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.



GRADING PLAN SCALE 1" = 10'

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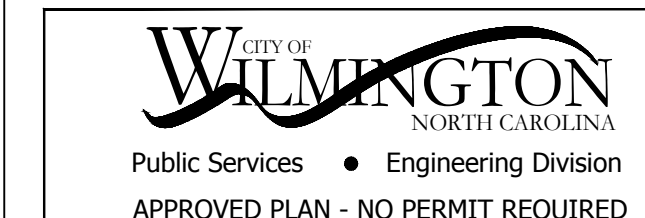
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| Project Name | Shipyard Plaza ATM- UB |
| Project Number | 69.6191.980 / 10-629.00 |
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| Description | GRADING PLAN |

C03.01

City of Wilmington Approval Blocks



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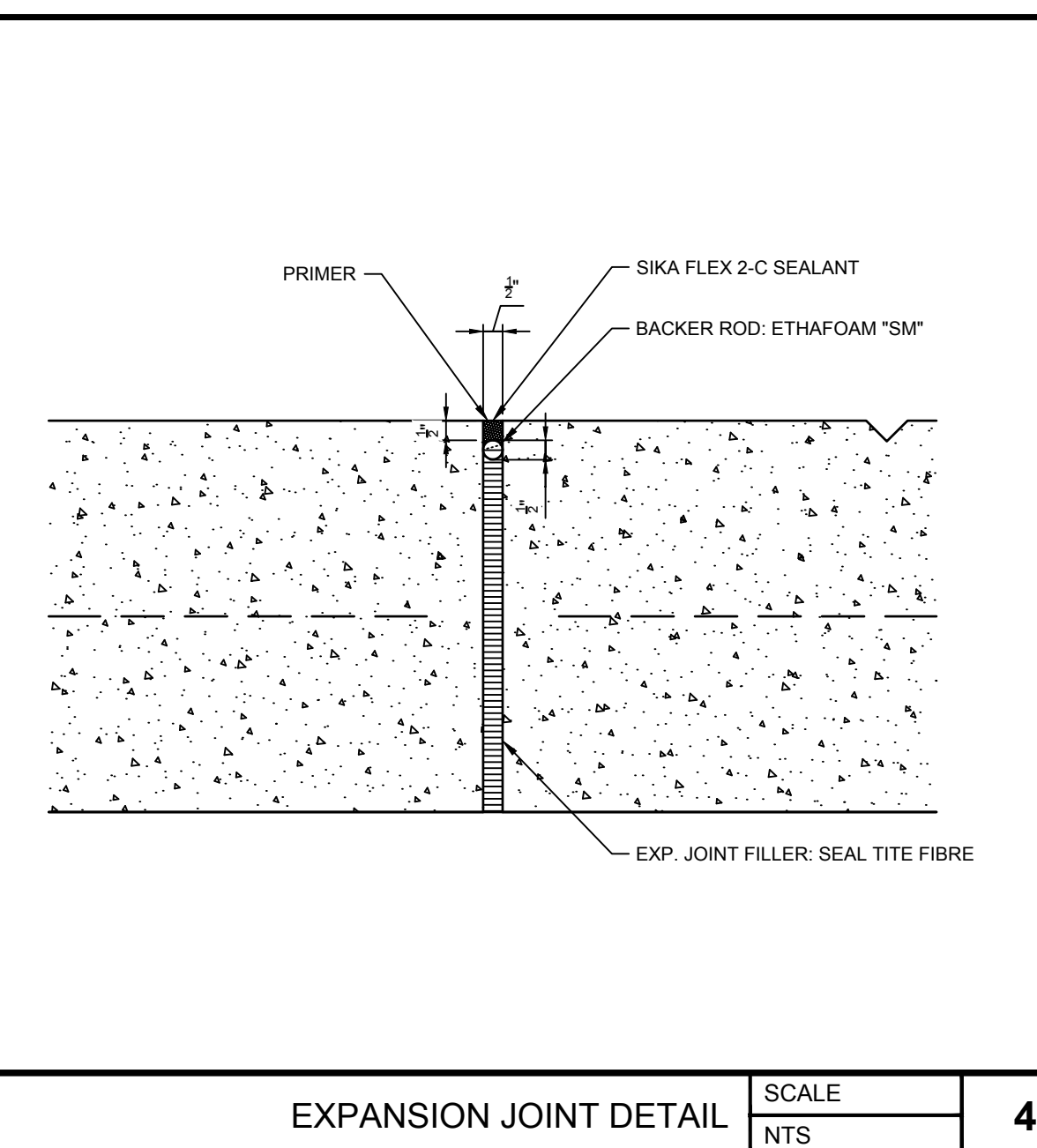
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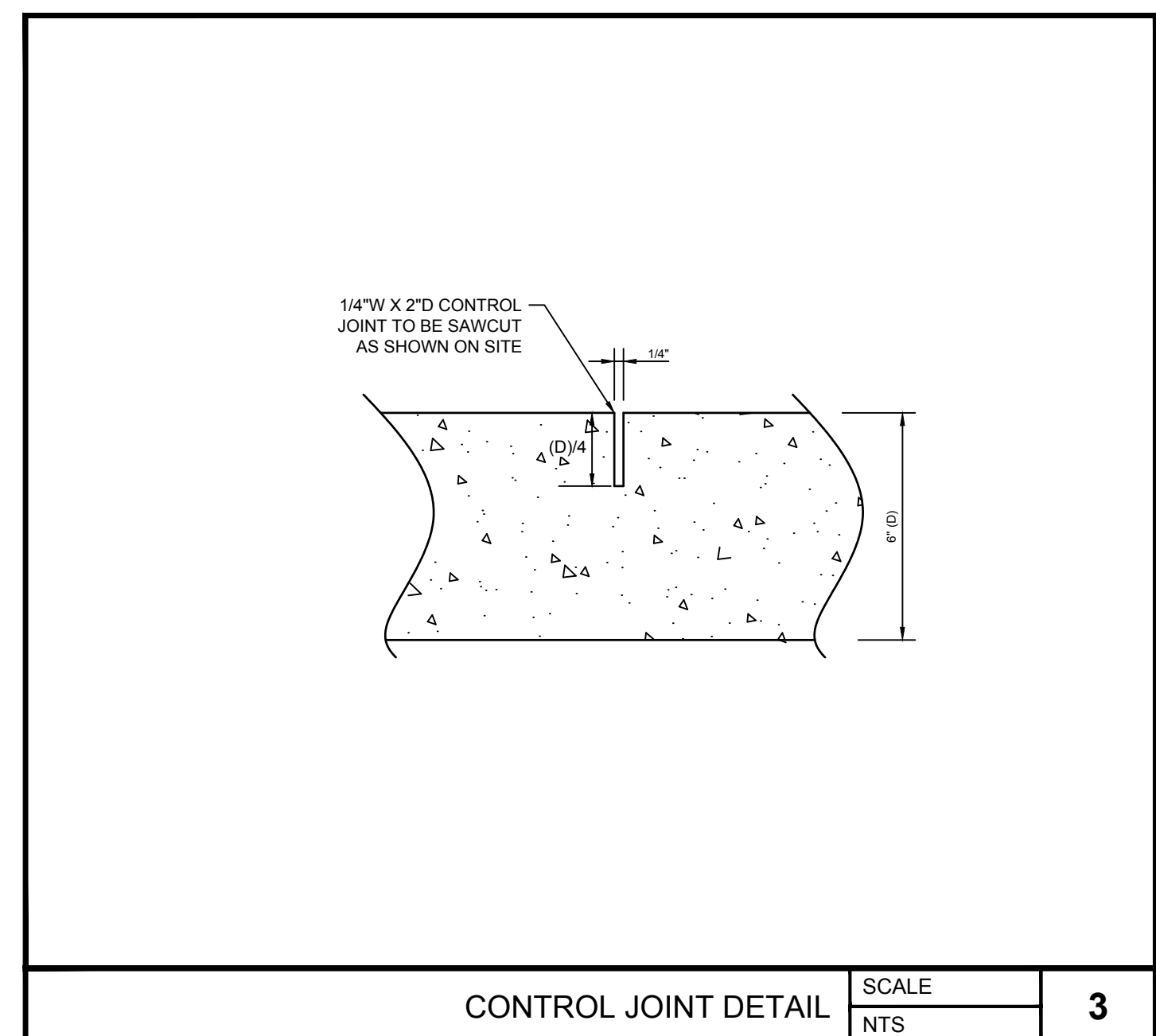
Description

DETAILS

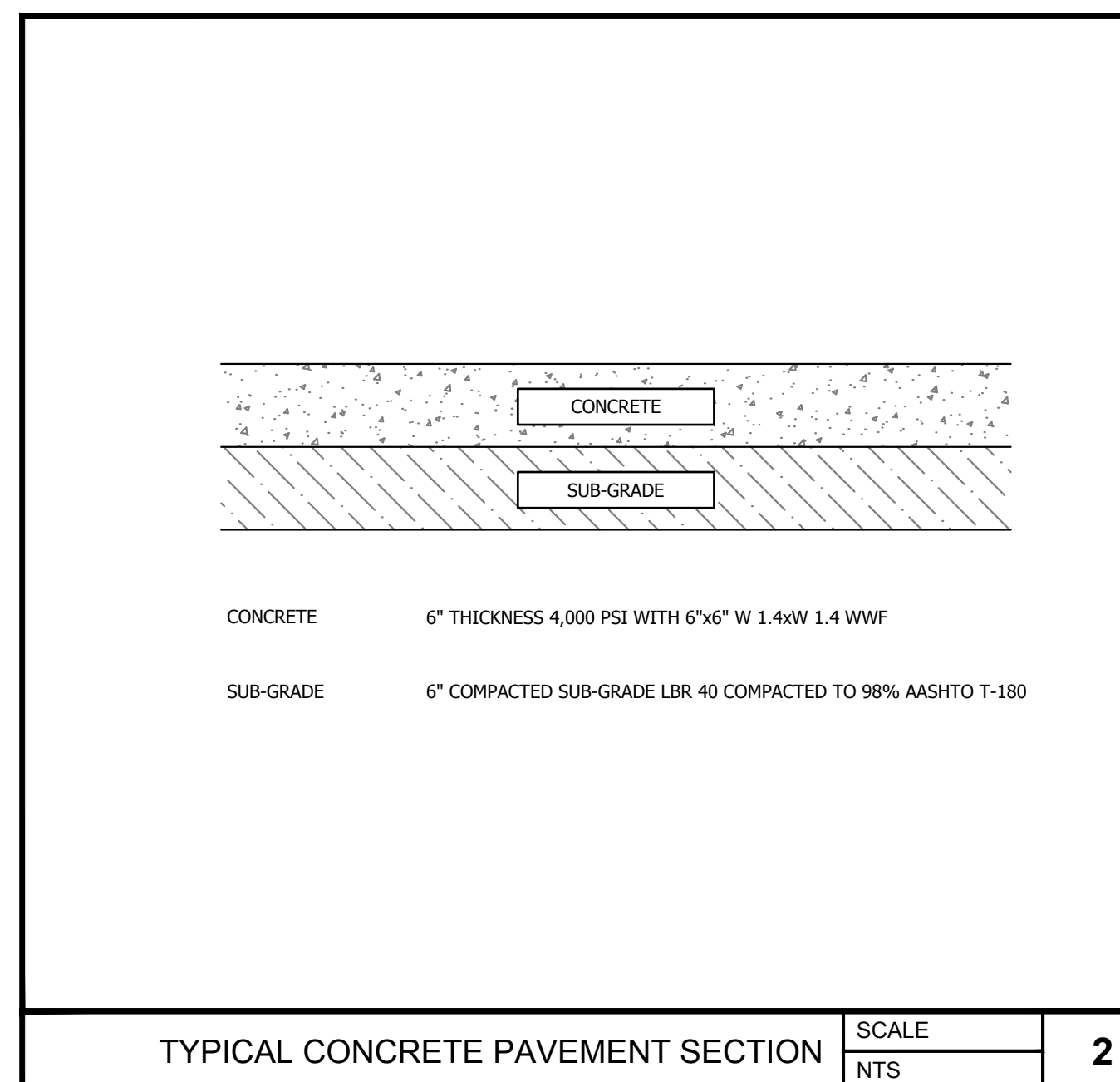
C12.01



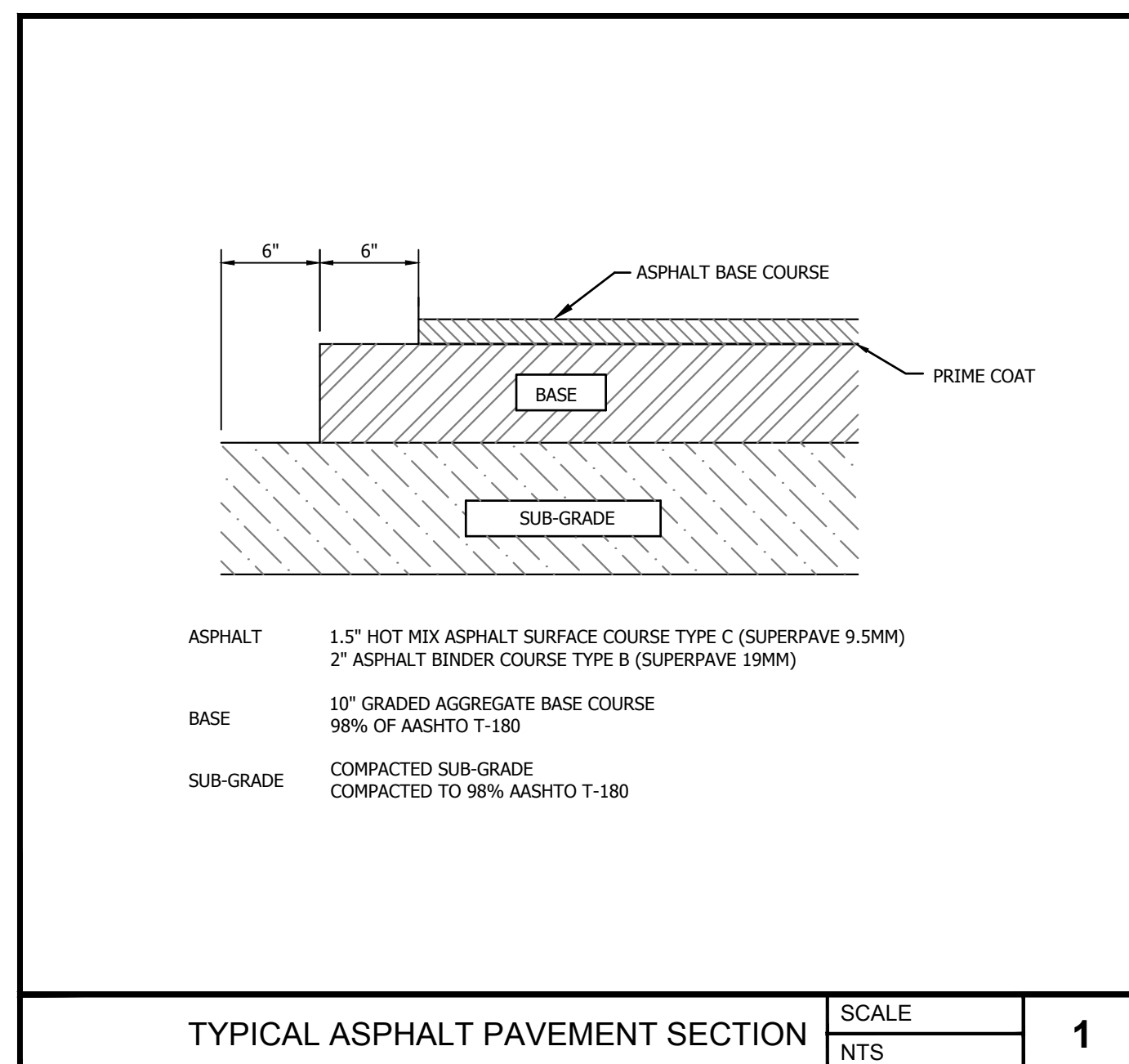
EXPANSION JOINT DETAIL SCALE NTS 4



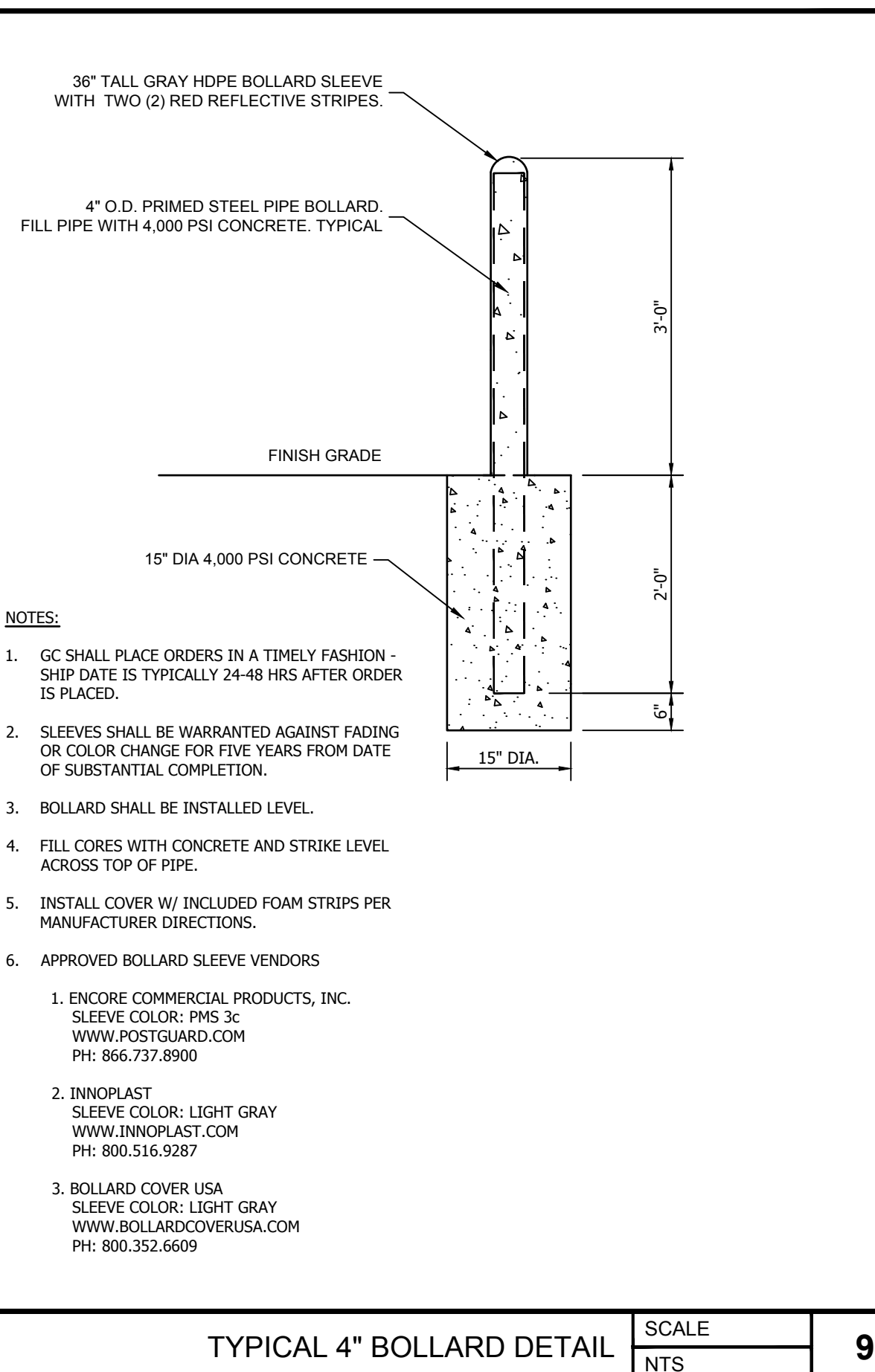
CONTROL JOINT DETAIL SCALE NTS 3



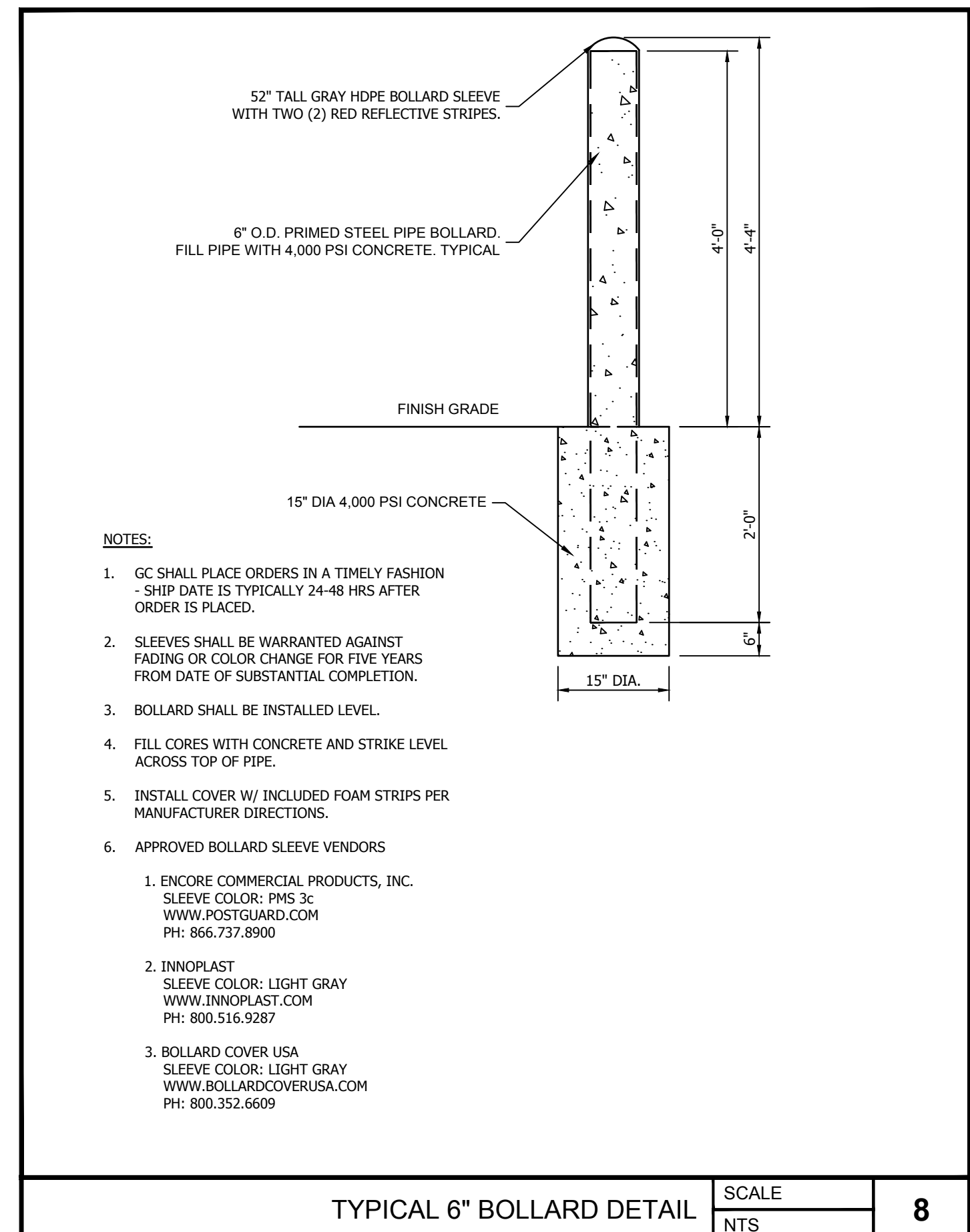
TYPICAL CONCRETE PAVEMENT SECTION SCALE NTS 2



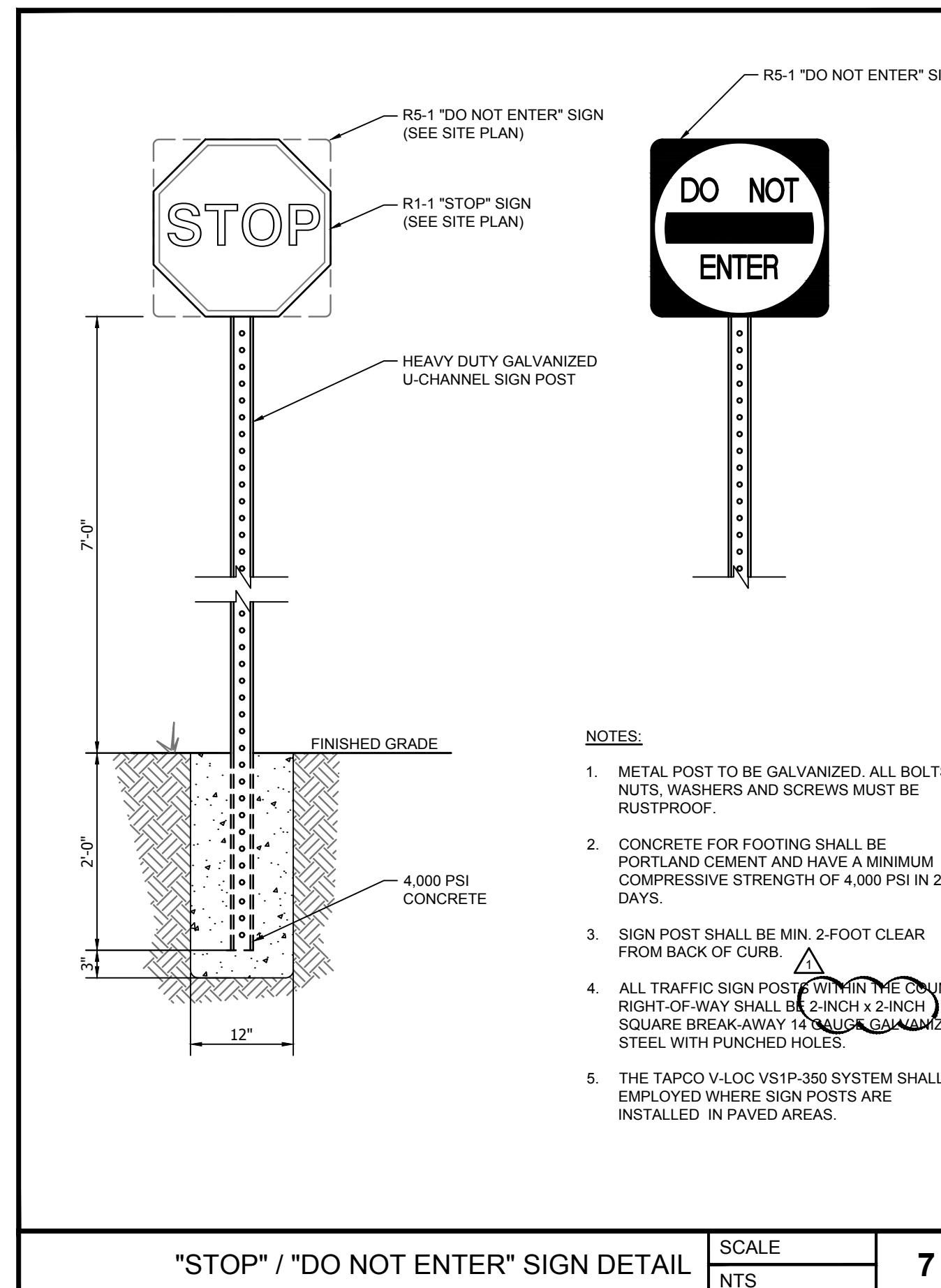
TYPICAL ASPHALT PAVEMENT SECTION SCALE NTS 1



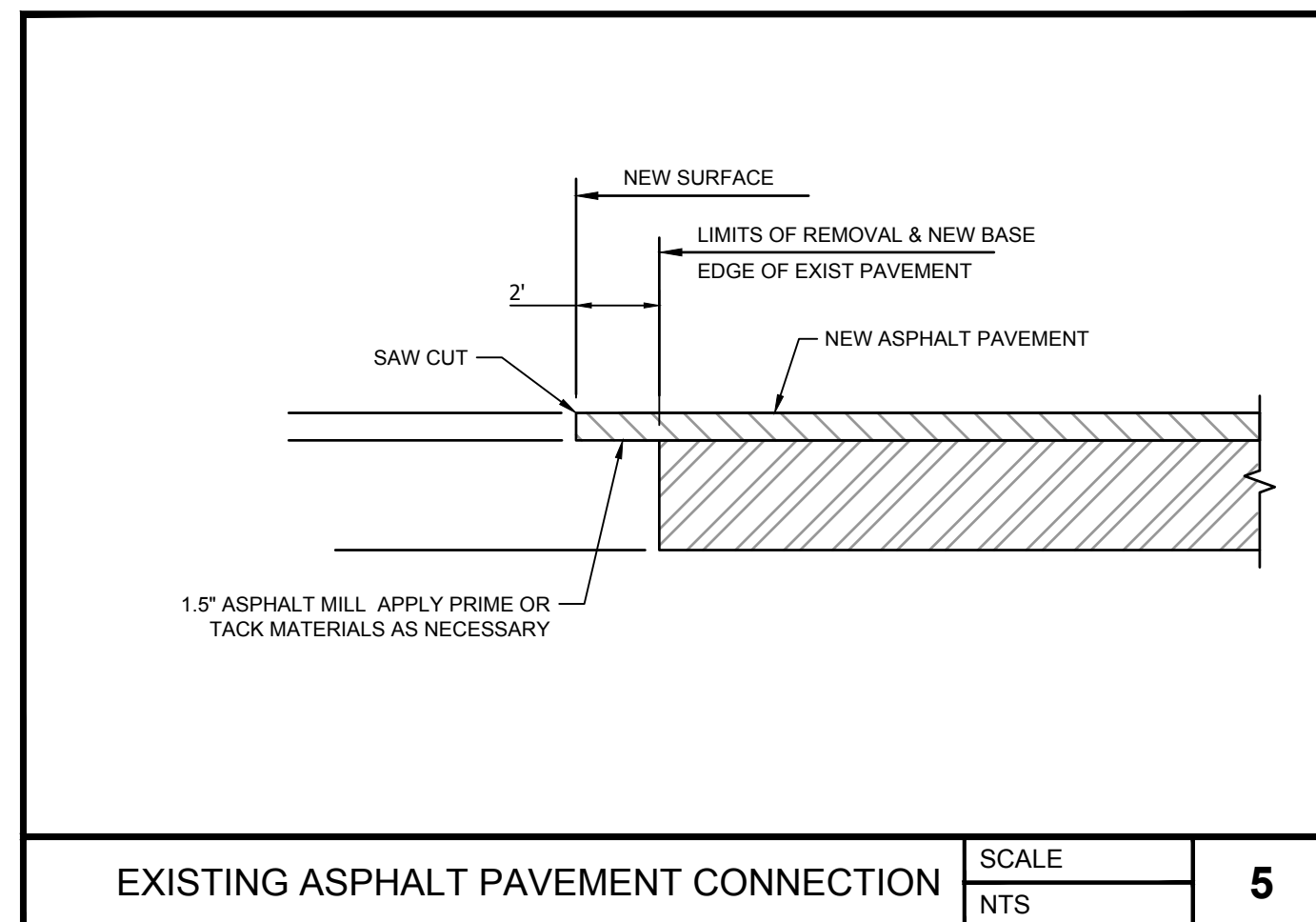
TYPICAL 4" BOLLARD DETAIL SCALE NTS 9



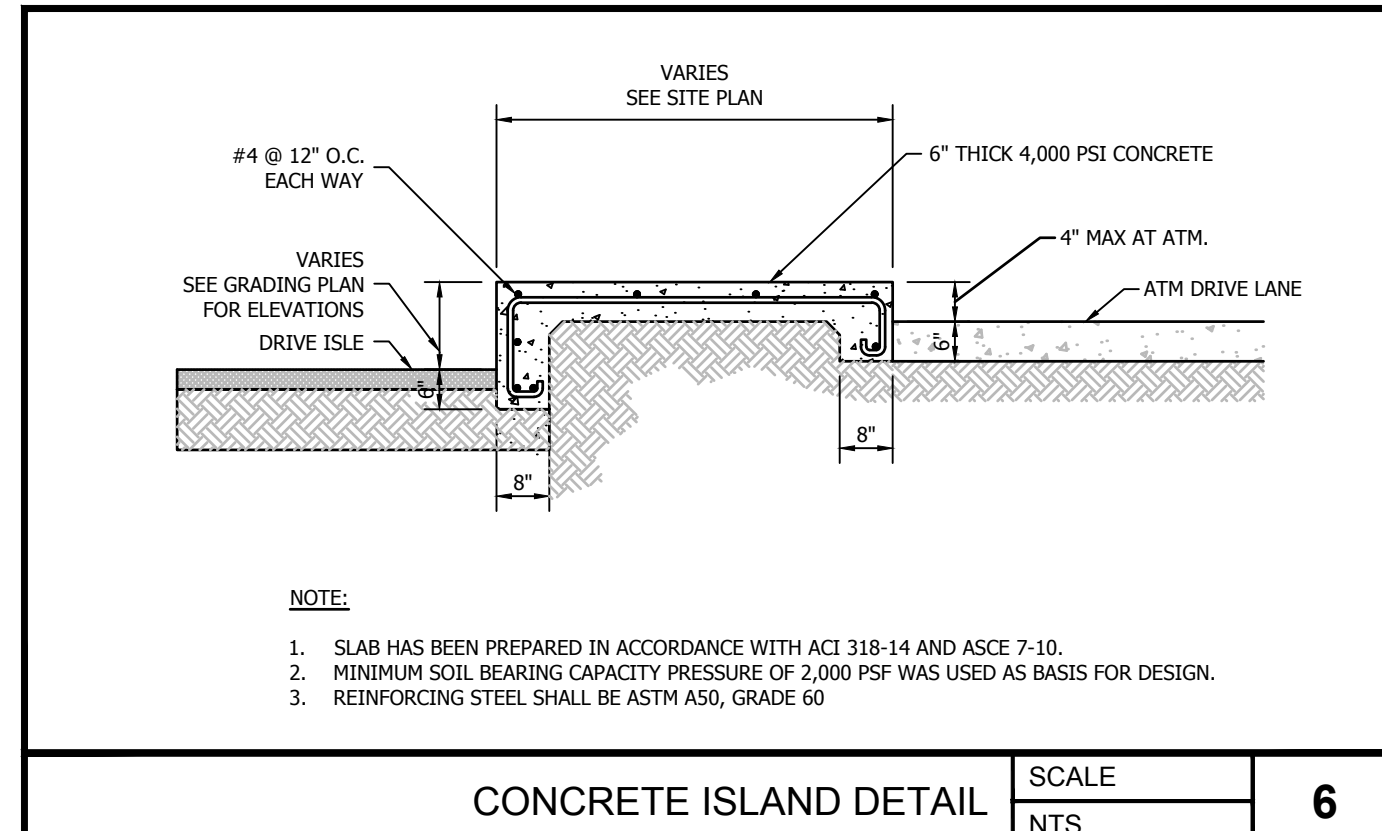
TYPICAL 6" BOLLARD DETAIL SCALE NTS 8



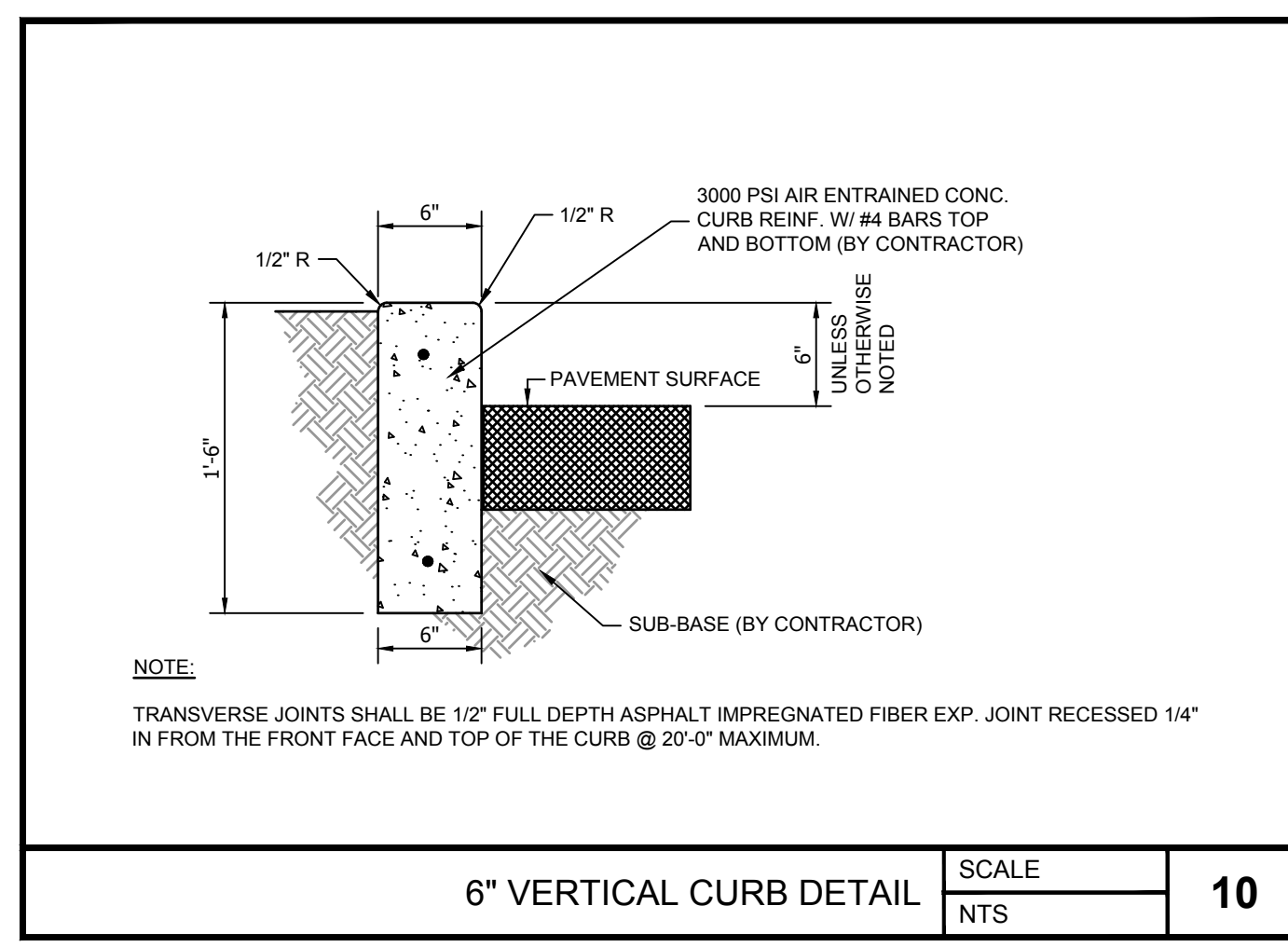
"STOP" / "DO NOT ENTER" SIGN DETAIL SCALE NTS 7



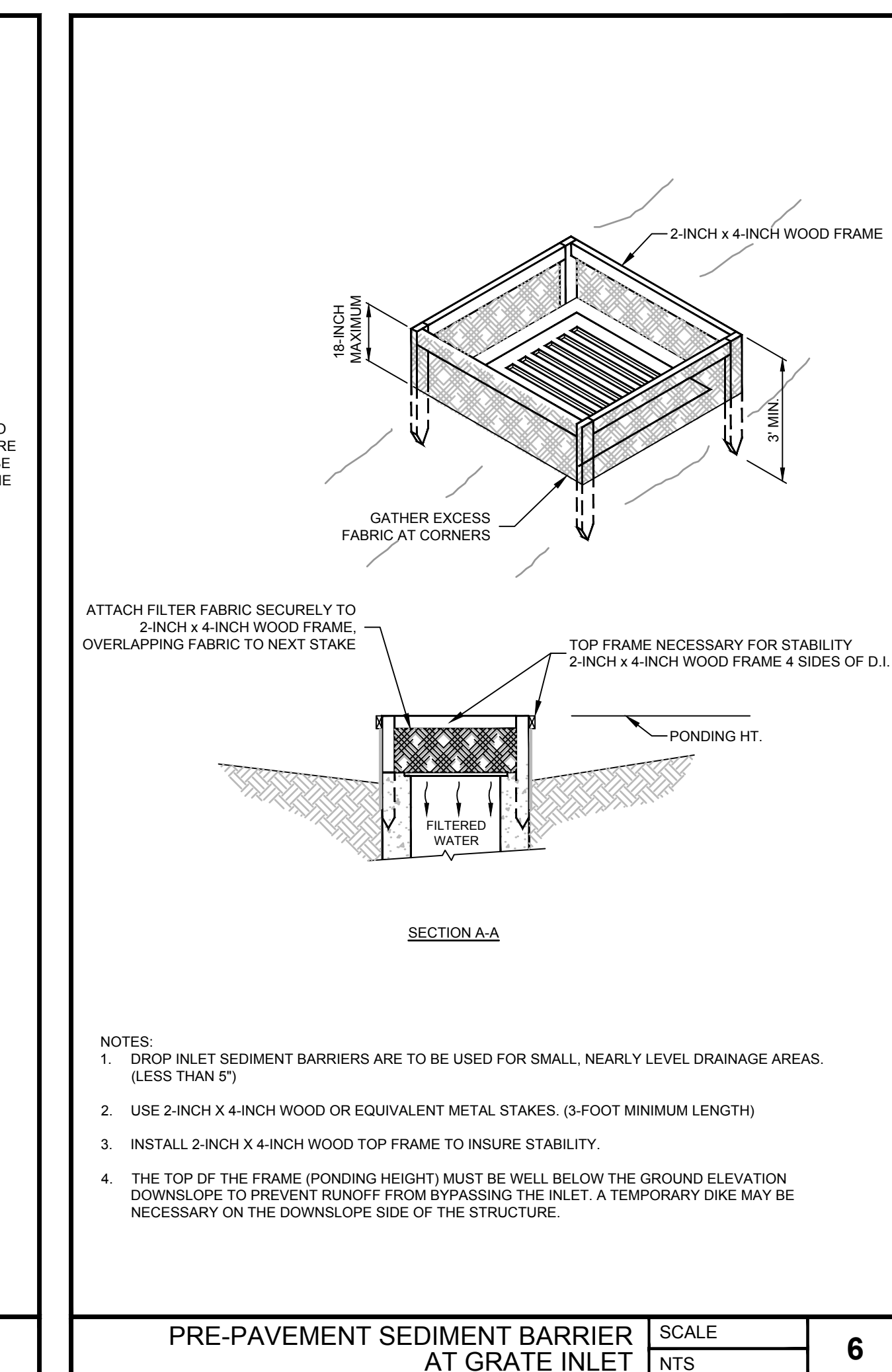
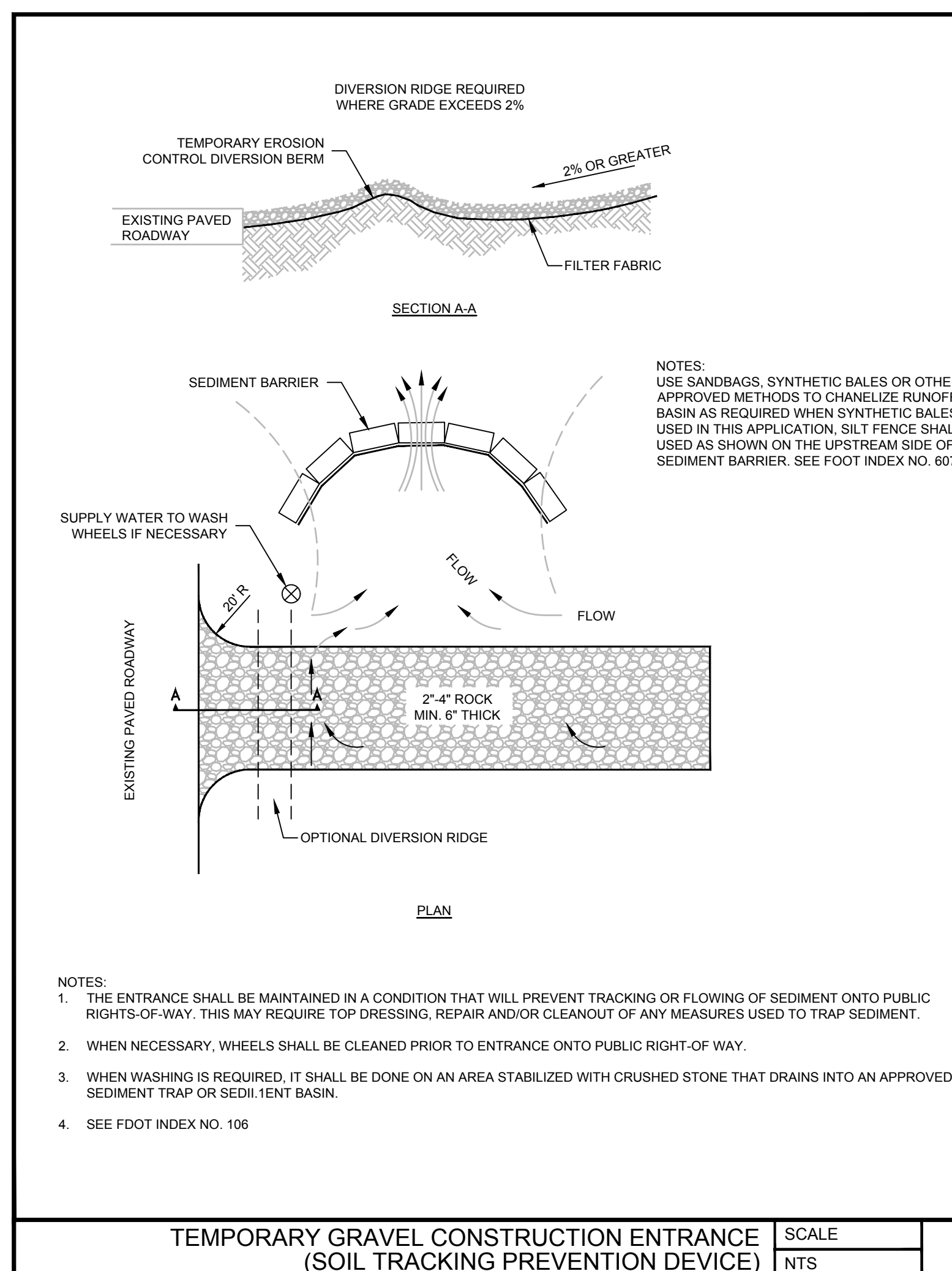
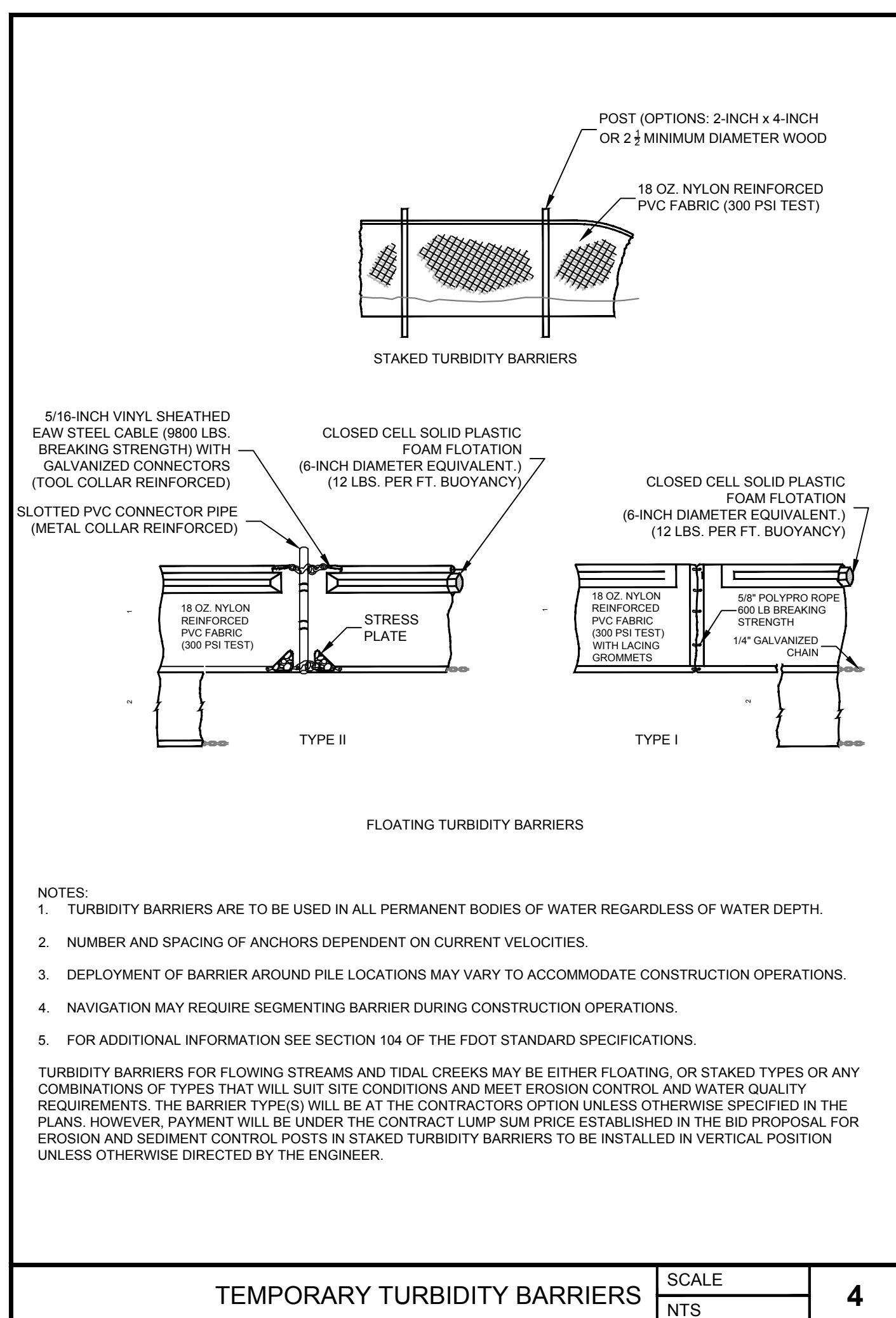
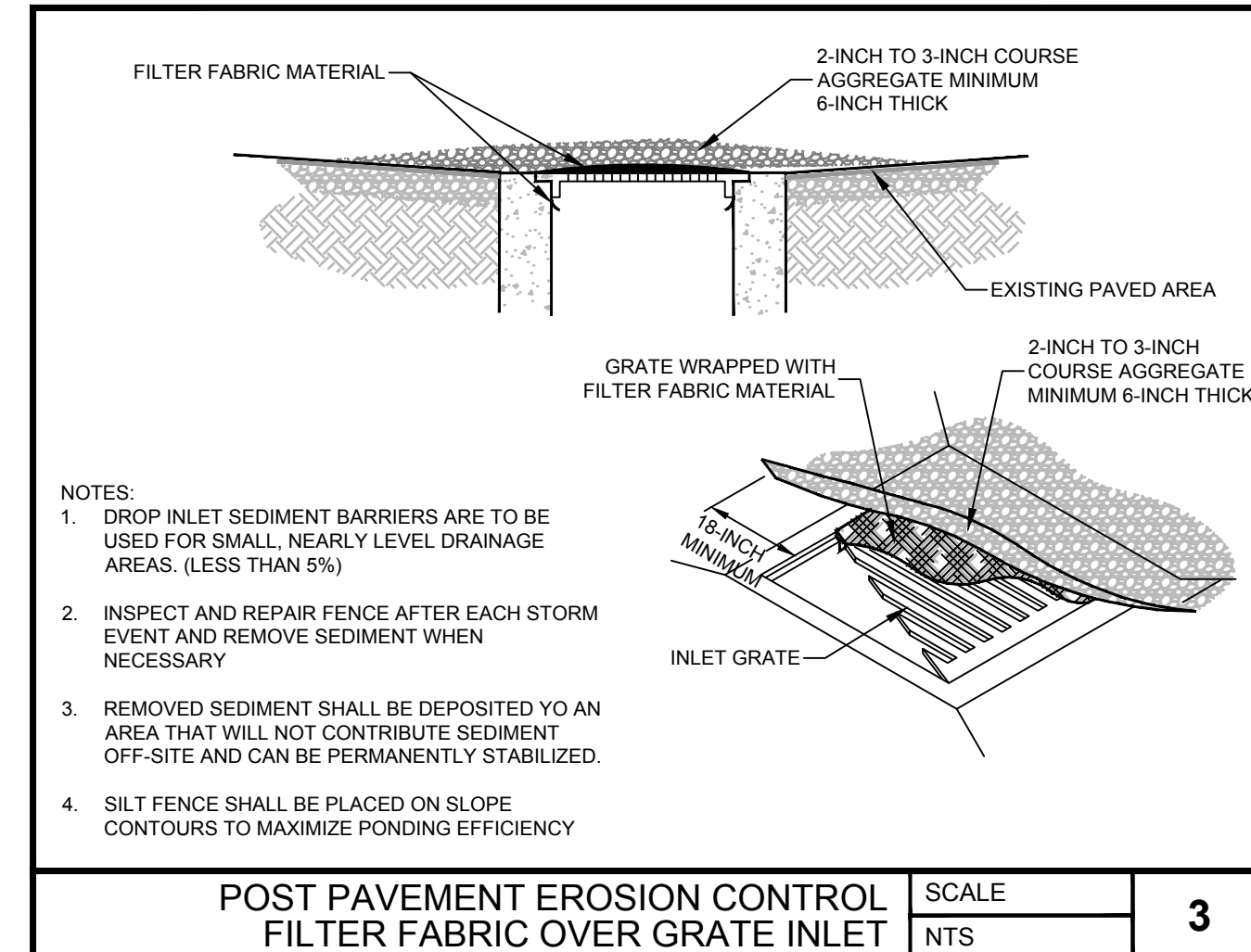
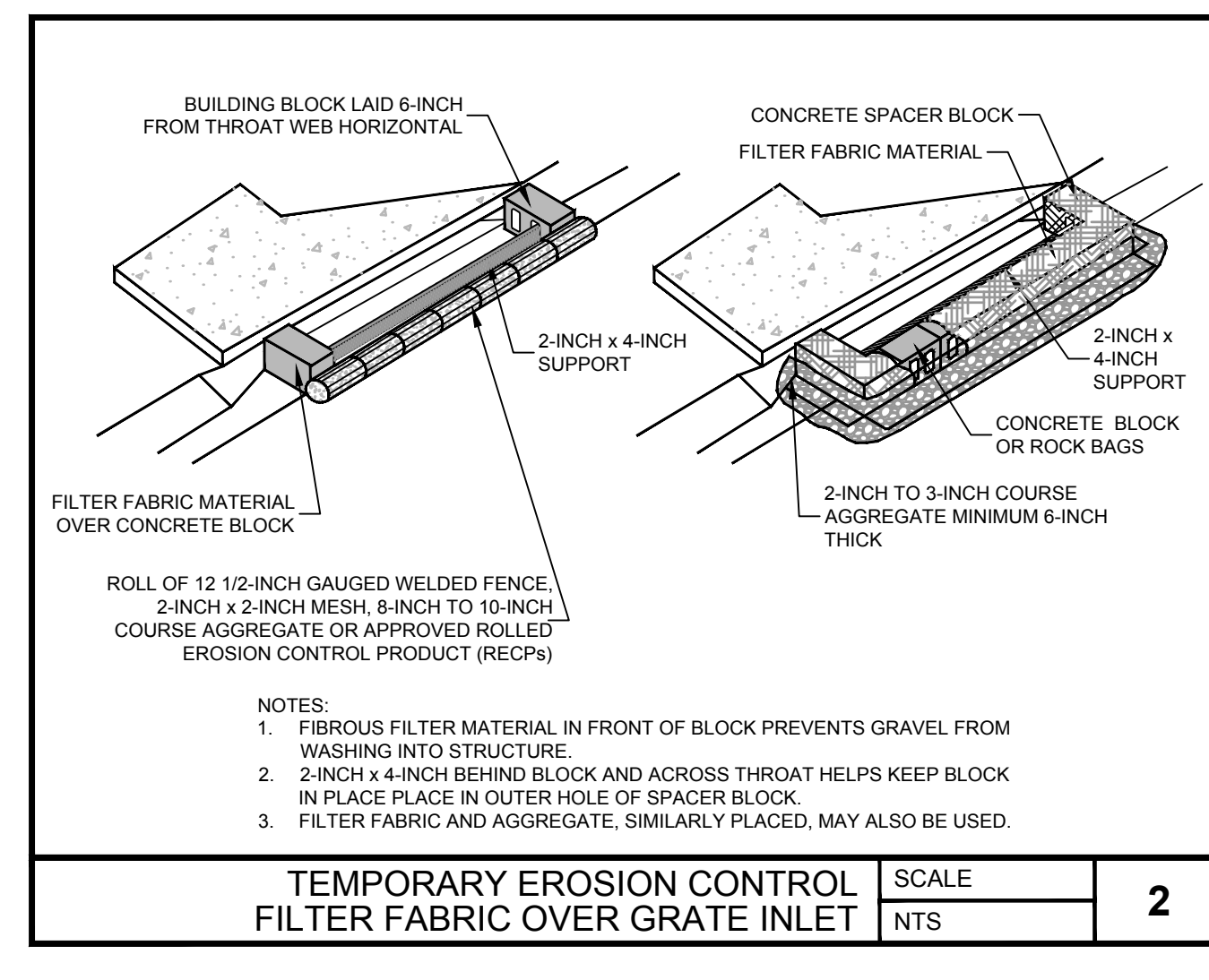
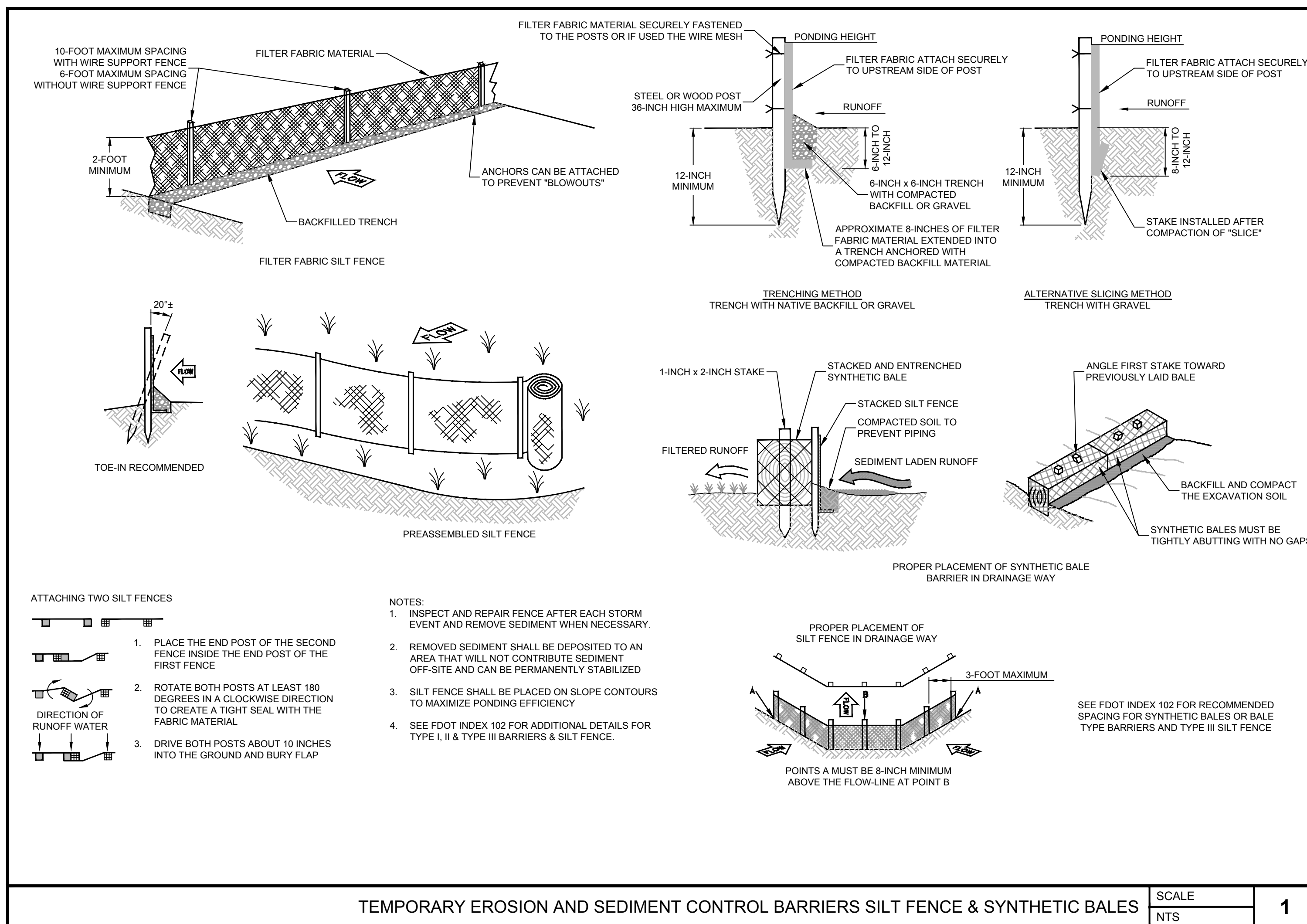
EXISTING ASPHALT PAVEMENT CONNECTION SCALE NTS 5



CONCRETE ISLAND DETAIL SCALE NTS 6



6" VERTICAL CURB DETAIL SCALE NTS 10



GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST MANAGEMENT PRACTICES (BMP) AND MOST CURRENT EROSION AND SEDIMENT CONTROL PRACTICES. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.

PRE-CONSTRUCTION SITE PROTECTION:

- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
- ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER OR INLET. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- ALL DISTURBED AREAS ARE TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, SYNTHETIC BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.

SITE PROTECTION:

- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED PROPERLY. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. BARRIER IS STAKED, THE EXCAVATED SOIL OR GRAVEL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER USING WIRE BACKING FOR SUPPORT IS DISCOURAGED DUE TO DISPOSAL PROBLEMS.
- WATER OR SLURRY USED TO CONTROL DUST SHALL BE RETAINED ON THE SITE AND NOT ALLOWED TO RUN DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
- SPECIAL AREAS SHALL BE DESIGNATED AS VEHICLE AND EQUIPMENT WASHING AREAS AND SUCH AREAS SHALL NOT ALLOW RUNOFF TO FLOW DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
- SILT FENCE BARRIERS ARE NOT TO BE USED WHERE CONCENTRATED FLOWS OF WATER ARE ANTICIPATED SUCH AS DRAINAGE DITCHES, AROUND INLETS OR ABOVE/BELOW WHERE CULVERTS DISCHARGE.
- SYNTHETIC BALES, SANDBAGS OR OTHER APPROVED DEVICE FACED WITH FILTER FABRIC SHALL BE USED IN HIGH VOLUME AREAS TO DECREASE THE RUNOFF VELOCITY AND SHALL BE SECURELY ANCHORED.
- ALL DEVICES INCLUDING SILT FENCE, FILTER BARRIERS, SYNTHETIC BALES AND/OR SANDBAGS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BARRIERS. END RUNS AND UNDERCUTTING BENEATH BARRIERS.
- ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

STORM DRAIN INLET PROTECTION:

- FILTER FABRIC SHALL BE LAID OVER INLETS SO THAT THE FABRIC EXTEND A MINIMUM OF 1 FOOT BEYOND EAST SIDE OF THE INLET STRUCTURE. FILTER FABRIC IN CONFORMANCE WITH D.O.T. OR COMPARABLE SHALL BE USED. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
- 2-INCH - 3-INCH COARSE AGGREGATE SHALL BE PLACED OVER THE FILTER FABRIC. THE DEPTH OF STONE SHALL BE AT LEAST 6 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF STONE FILTERS BECOME CLOGGED WITH SEDIMENT SO THAT THEY NO LONGER ADEQUATELY PERFORM THEIR FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.

POST-CONSTRUCTION SITE PROTECTION:

- ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE, NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
- ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

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WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED PLAN - NO PERMIT REQUIRED

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Name _____ Date _____

Planning _____

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Fire _____

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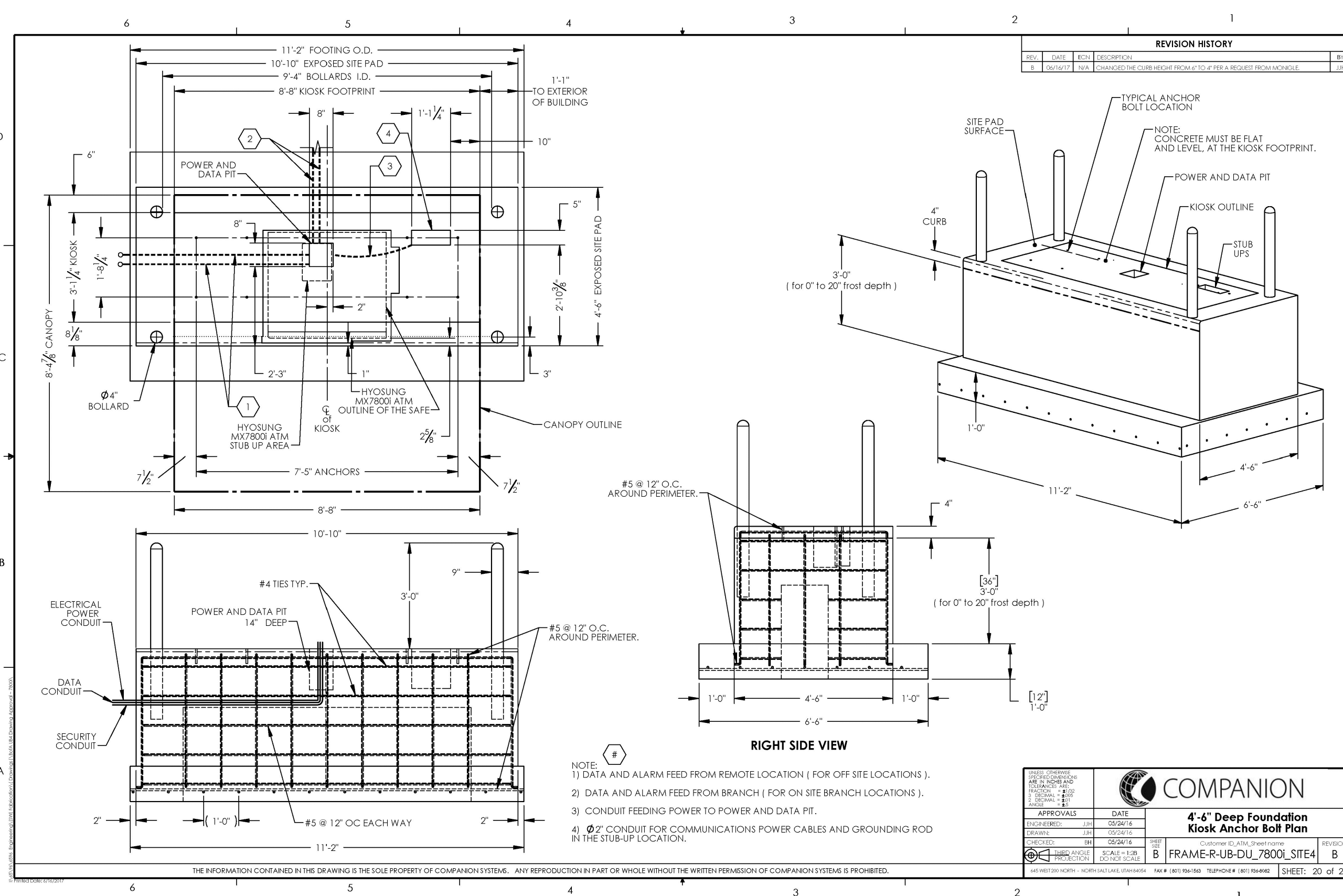
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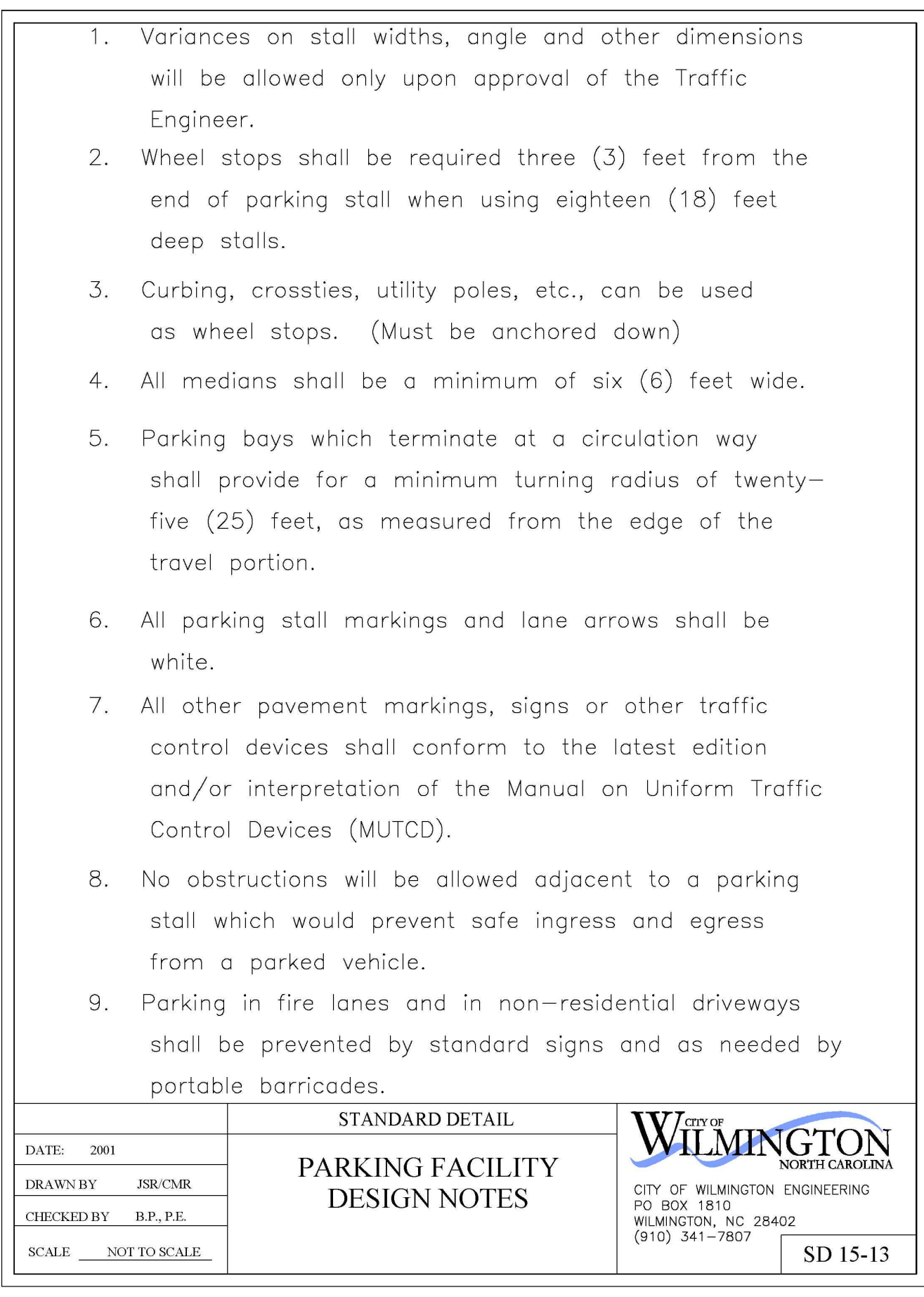
Description
DETAILS

C12.02



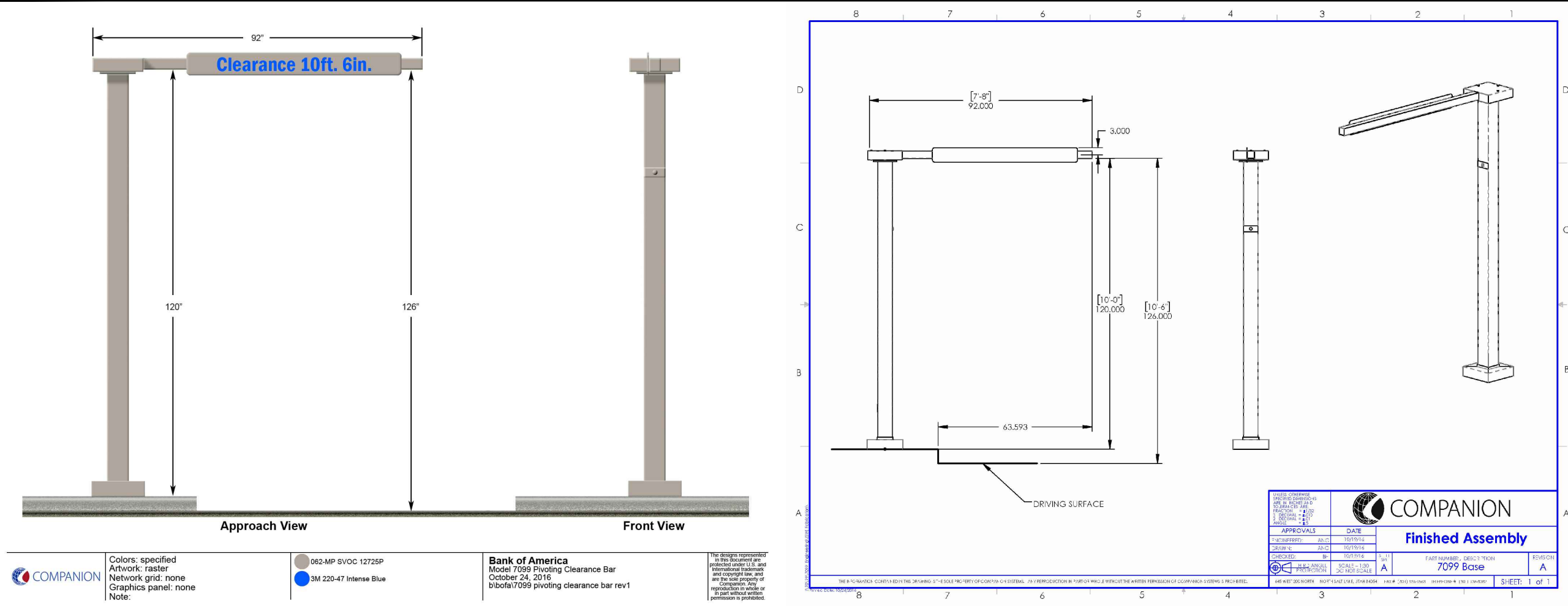
REFER TO FINAL MANUFACTURER'S DESIGN DRAWINGS PRIOR TO CONSTRUCTION

ATM CONCRETE FOUNDATION DETAIL: DEEP FOUNDATION SCALE NTS 1



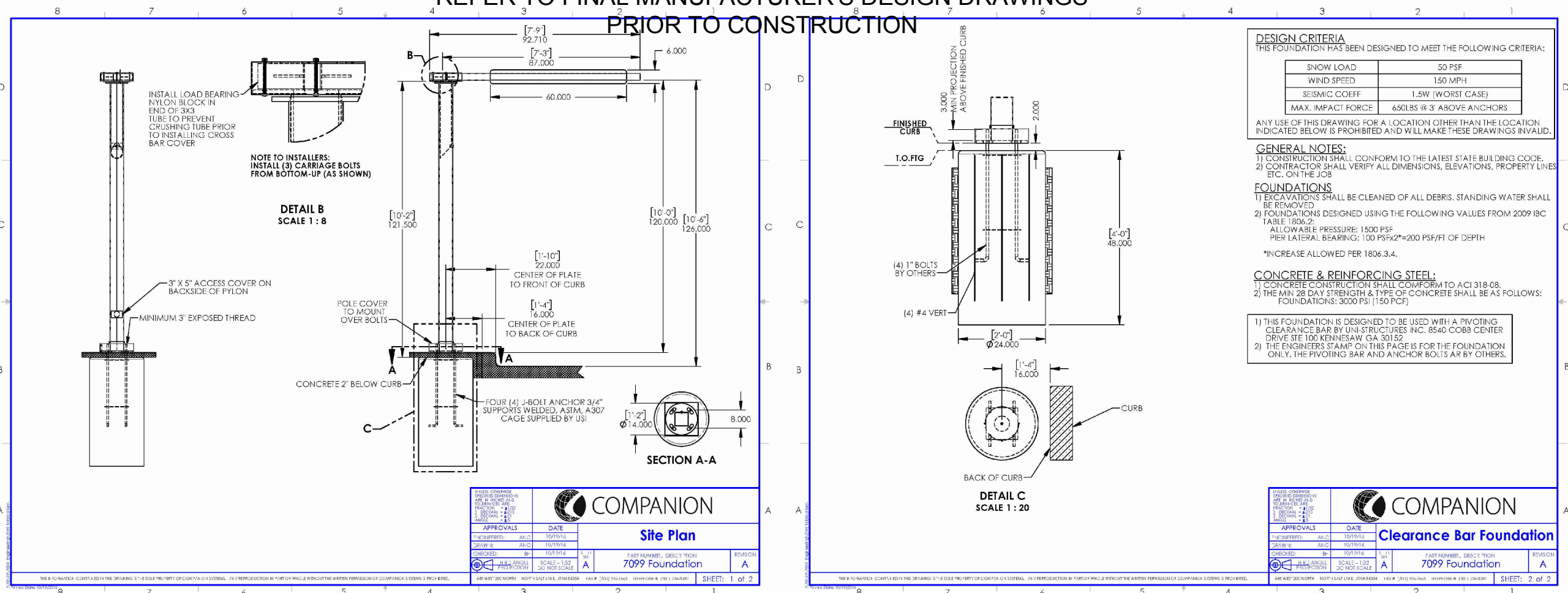
CITY STANDARD DETAIL: SD 15-13 SCALE NTS 3

1. Variances on stall widths, angle and other dimensions will be allowed only upon approval of the Traffic Engineer.
2. Wheel stops shall be required three (3) feet from the end of parking stall when using eighteen (18) feet deep stalls.
3. Curbing, crossies, utility poles, etc., can be used as wheel stops. (Must be anchored down)
4. All medians shall be a minimum of six (6) feet wide.
5. Parking bays which terminate at a circulation way shall provide for a minimum turning radius of twenty-five (25) feet, as measured from the edge of the travel portion.
6. All parking stall markings and lane arrows shall be white.
7. All other pavement markings, signs or other traffic control devices shall conform to the latest edition and/or interpretation of the Manual on Uniform Traffic Control Devices (MUTCD).
8. No obstructions will be allowed adjacent to a parking stall which would prevent safe ingress and egress from a parked vehicle.
9. Parking in fire lanes and in non-residential driveways shall be prevented by standard signs and as needed by portable barricades.



REFER TO FINAL MANUFACTURER'S DESIGN DRAWINGS PRIOR TO CONSTRUCTION

CLEARANCE BAR DETAIL SCALE NTS 2



DESIGN CRITERIA
 THE FOUNDATION HAS BEEN DESIGNED TO MEET THE FOLLOWING CRITERIA:
 1. SHOW LOAD 100 RPF
 2. WIND SPEED 100 MPH
 3. SEISMIC COEFF 0.15W (WORTH CASE)
 4. MAX. IMPACT FORCE 100 LB PER ANCHOR
 ANY USE OF DIMENSIONS FOR A LOCATION OTHER THAN THE LOCATION INDICATED SHALL BE CONSIDERED AND WILL MAKE THESE DIMENSIONS INVALID.

GENERAL NOTES:
 1. FOUNDATION SHALL BE DESIGNED TO THE LATEST STATE BUILDING CODE.
 2. FOUNDATION SHALL BE FULLY ANCHORED TO ALL ADJACENT CURBS.
 3. FOUNDATION SHALL BE CLEANED OF ALL DEBRIS. STANDING WATER SHALL BE REMOVED.
 4. FOUNDATION SHALL BE DESIGNED USING THE FOLLOWING VALUES FROM 2009 IBC:
 1) WIND SPEED 100 MPH
 2) SEISMIC COEFFICIENT 0.15W
 3) WIND LOAD PERMITTED PER 1601.3.4.
 *INCREASE ALLOWED PER 1601.3.4.

CONCRETE & REINFORCING STEEL:
 1) FOUNDATION SHALL BE DESIGNED TO ACI 318.08.
 2) THE MAX. DATE EXTENSION & TYPE OF CONCRETE SHALL BE AS FOLLOWS:
 FOUNDATION: 3000 PSI / 100 MCI

1) THE FOUNDATION IS DESIGNED TO BE USED WITH A HYDRANT STUB UP BAR BY THE MANUFACTURER. THE 4-6" DEEP CONCRETE SHALL BE 18 KENTONIAN CA 3000.
 2) THE REINFORCING BARS ON THE FACE FOR THE FOUNDATION SHALL BE 1/2" DIA. BARS AND ANCHOR BARS BY CURBS.

Bank of America
 Shipyard Plaza ATM- UB
 2640 Carolina Beach Rd, Wilmington, NC 28401

M. Arthur Gensler Jr.
 & Associates Inc.
Gensler
 LIC. NO. AA0002837
 Main Office: 2 Harrison Street, Suite 400, San Francisco CA 94105
 Tel: 415.433.3700, Fax: 415.836.4599

Satellite Office: 100 North Tampa Street, Suite 2300, Tampa FL 33602
 Tel: 813.204.9000
INFINITY
 INFINITY ENGINEERING GROUP, PLLC
 1336 Harding Place, Charlotte, NC 28204
 [p]: 813.434.4770, [f]: 813.445.4211, www.ieggroup.net, NC Firm Certificate No. P-1836

City of Wilmington Approval Blocks

City of WILMINGTON NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED
 Signed: _____
 Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

| Date | Description |
|----------|---------------------------------------|
| 05.17.18 | ISSUE FOR REVIEW |
| 05.29.18 | ISSUE FOR PERMIT |
| 06.27.18 | REVISED PER PARKING LOT PLAN COMMENTS |

Seal / Signature _____

FOR REFERENCE ONLY
 DATE _____

Project Name: Shipyard Plaza ATM- UB

Project Number: 69.6191.980 / 10-629.00

Scale: AS INDICATED

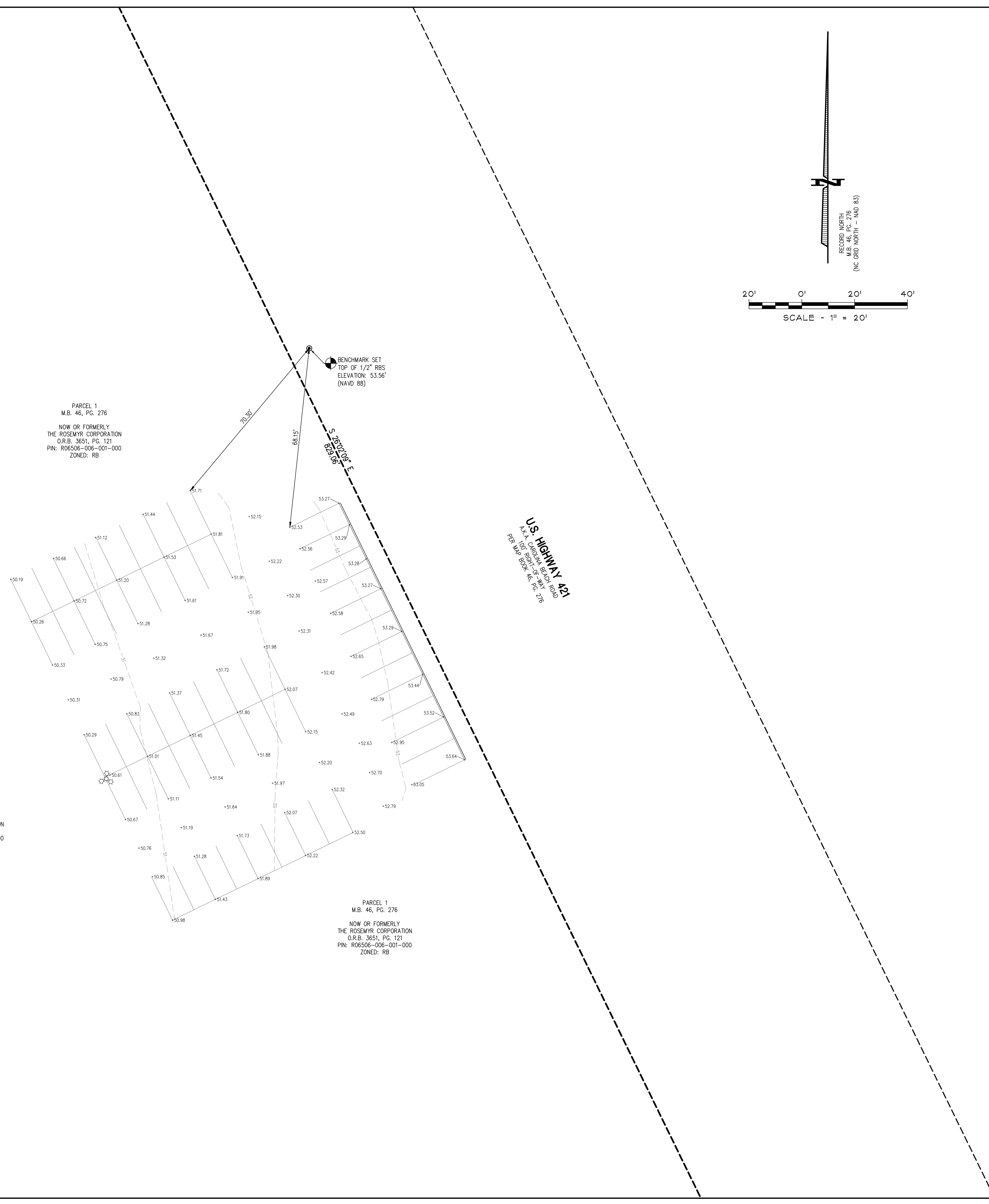
Description: DETAILS

C12.03

LEGEND

- EXISTING BUILDING
- LAND LOT LINE (LLL)
- PROPERTY LINE
- UTILITY POLE (UP), OVERHEAD LINES & GUY
- TREE LINE
- SANITARY SEWER MANHOLE (SSMH)
- FIBER OPTIC CABLE
- SANITARY CLEAN-OUT (SCO)
- SANITARY SEWER STUB OUT
- TELEPHONE MANHOLE/PEDESTAL
- STORM DRAIN PIPE WITH HEADWALL
- DOUBLE-WING CATCH BASIN
- SINGLE-WING CATCH BASIN
- JUNCTION BOX (JB)
- DROP OR CURB INLET (DI OR CI)
- FENCE
- DRAINAGE DITCH OR SWALE
- EXISTING 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING GRADE SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- RECORDED DATA
- PARKING SPACE COUNT
- LIGHT POLE (LP)
- ELECTRICAL TRANSFORMER BOX
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- WATER STUB OUT
- WATER METER
- GAS METER
- ELECTRIC METER
- WELL
- MONITORING WELL
- POST INDICATOR VALVE
- MAILBOX
- STREET SIGN
- ELECTRICAL STUB OUT
- UNKNOWN UTILITY STUB OUT
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL BOX
- FIRE DEPT. CONNECTION
- FIBER OPTIC BOX
- BACKFLOW PREVENTER
- IRRIGATION CONTROL VALVE
- DRAINAGE MANHOLE
- RIGHT-OF-WAY
- REBAR PIN FOUND
- OPEN TOP PIPE FOUND
- CRIMP TOP PIPE FOUND
- CONCRETE MONUMENT FOUND
- BRASS DISK FOUND
- AXLE FOUND
- REBAR PIN SET
- CORRUGATED METAL PIPE
- REINFORCED CONC. PIPE
- HDPPE
- DIP
- PVC

(N 47°13'27"E)



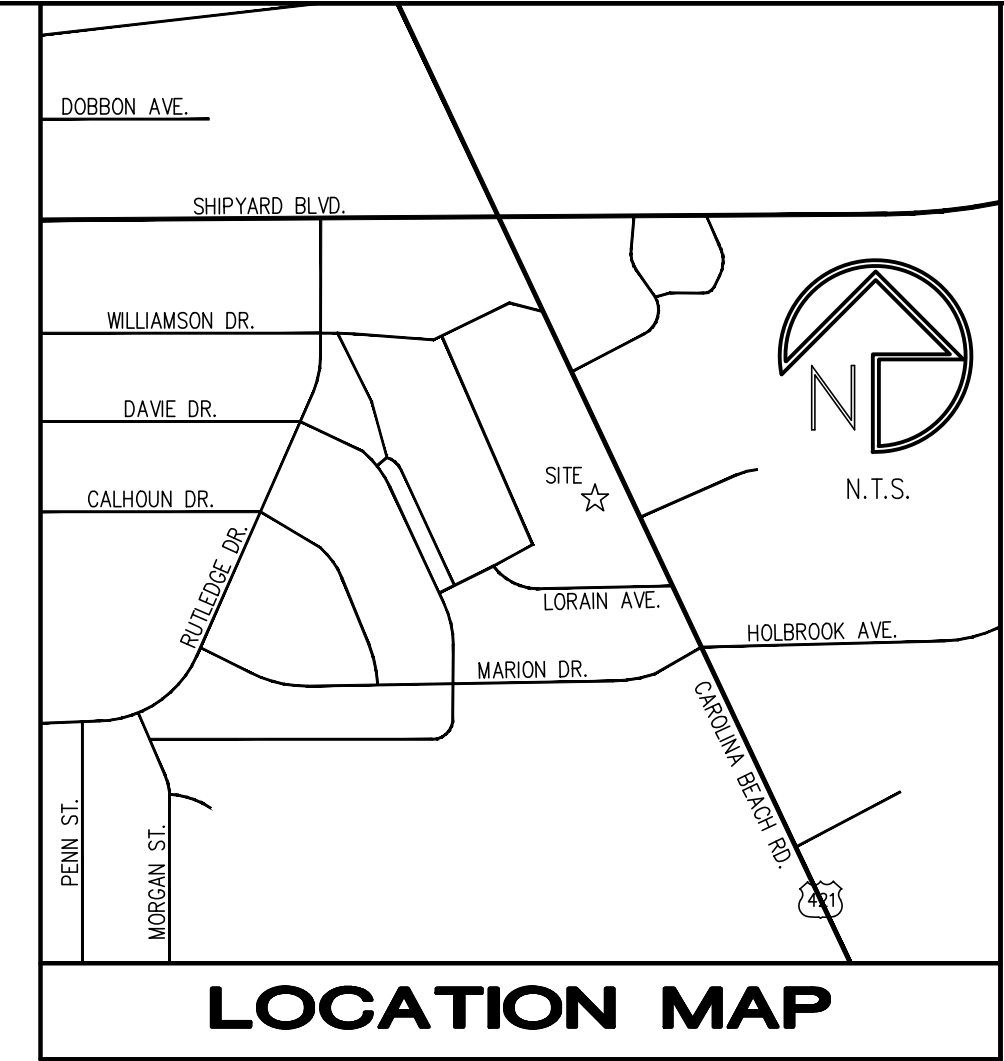
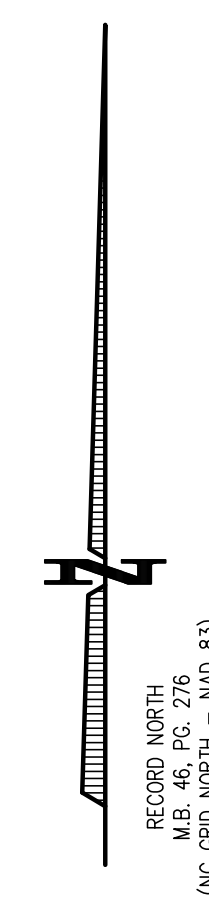
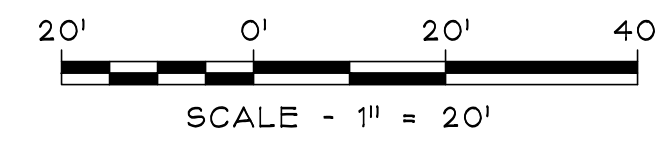
PARCEL 1
M.B. 46, PG. 276
NOW OR FORMERLY
THE ROSEMYR CORPORATION
O.R.B. 3651, PG. 121
PIN: R06506-006-001-000
ZONED: RB

PARCEL 1
M.B. 46, PG. 276
NOW OR FORMERLY
THE ROSEMYR CORPORATION
O.R.B. 3651, PG. 121
PIN: R06506-006-001-000
ZONED: RB

PARCEL 1
M.B. 46, PG. 276
NOW OR FORMERLY
THE ROSEMYR CORPORATION
O.R.B. 3651, PG. 121
PIN: R06506-006-001-000
ZONED: RB

BENCHMARK SET
TOP OF 1/2" RBS
ELEVATION: 53.56'
(NAVD 88)

U.S. HIGHWAY 421
A.S. CARROLL BEYOND 0000
FOR MAP BOOK 46, PG. 276



GENERAL NOTES

1. SURVEY PROCEDURES: THIS SURVEY IS BASED ON MEASUREMENTS OBTAINED USING AN INSTRUMENT CAPABLE OF READING ANGULAR MEASUREMENTS DIRECTLY TO A MINIMUM OF 5 SECONDS OF ARC AND LINEAR DIMENSIONS DIRECTLY TO 0.01 FEET.
 2. TITLE TO THE SURVEYED PROPERTY IS CURRENTLY VESTED IN THE ROSEMYR CORPORATION, A NORTH CAROLINA CORPORATION, BY VIRTUE OF A GENERAL WARRANTY DEED RECORDED IN D.B. 3651, PG. 121, HANOVER COUNTY, NORTH CAROLINA RECORDS.
 3. I HAVE EXAMINED FEMA FLOOD INSURANCE RATE MAP NO. 3720312600J DATED APRIL 3, 2006 AND HAVE DETERMINED BASED SOLELY BY GRAPHICALLY SCALING THE LOCATION ON THE MAP THAT THIS PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA.
 4. THE BASIS OF BEARINGS USED FOR THIS SURVEY IS FROM THE PLAT ENTITLED "MAP OF RECOMBINATION FOR BERMUDA COMPANY AND THE ROSEMYR CORPORATION" BY ROBERT H. GOSLEE & ASSOCIATES, P.A., DATED AUGUST 6, 2004 AND RECORDED IN MAP BOOK 46, PG. 276, HANOVER COUNTY, NORTH CAROLINA RECORDS. ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON NOS MONUMENT "MCDONALDS" (PID: EA3092), ELEVATION OF MONUMENT: 43.3' (NAVD88).
 5. THE SURVEYED PROPERTY IS ZONED RB (REGIONAL BUSINESS DISTRICT) ACCORDING TO THE CITY OF WILMINGTON, NORTH CAROLINA PLANNING & ZONING DEPARTMENT AND IS SUBJECT TO THE REQUIREMENTS AND RESTRICTIONS OF THIS ZONING CLASSIFICATION. THE SETBACK REQUIREMENTS FOR THIS ZONING CLASSIFICATION ARE:

| | |
|-------------------------|--------|
| FRONT | 25 FT. |
| MAJOR SIDE | 25 FT. |
| MINOR SIDE | 0 FT. |
| REAR | 25 FT. |
| MAXIMUM BUILDING HEIGHT | 35 FT. |
| MAXIMUM LOT COVERAGE | 40% |
 6. THE TAX PARCEL ID FOR THE SUBJECT PROPERTY IS R06506-006-001-000.
 7. UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED ON ABOVE GROUND EVIDENCE OBSERVED AT THE TIME OF FIELD SURVEY. NO CERTIFICATION, GUARANTEE, OR WARRANTY OF ANY KIND IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UTILITIES SHOWN OR NOT SHOWN ON THIS SURVEY.
 8. THE CONTOURS SHOWN ON THIS SURVEY ARE AT 1.0 FOOT INTERVALS.
 9. AREA COMPUTED BY COORDINATES.
 10. THAT THIS SURVEY IS OF AN EXISTING PROPERTY AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
 11. ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES.
- I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN M.B. 46, PG. 276 AND D.B. 3651, PG. 121 NEW HANOVER COUNTY, NORTH CAROLINA RECORDS) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DASHED LINES AND ARE DRAWN FROM INFORMATION IN OTHER REFERENCE SOURCES, THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:62,838; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)
- AND I CERTIFY FURTHER THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL (2 SIGMA) TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THE VERTICAL ACCURACY MEETS AND EXCEEDS THE VERTICAL ACCURACY REQUIREMENTS OF THE NATIONAL MAP ACCURACY STANDARDS AND THAT THE ORIGINAL DATA WAS OBTAINED ON APRIL 04, 2018; THAT THE SURVEY WAS COMPLETED ON MAY 2, 2018; THAT CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NC GRID NAD 83 AND ALL ELEVATIONS ARE BASED ON NAVD 88.
- THIS _____ DAY OF _____ 2018

SIGNED: _____
RODNEY E. ABNEY, JR.
NORTH CAROLINA REG. NO. L-4510

Bechtler Greenfield Surveying, LLC
1430 West Peachtree St. NW, Suite 225
Atlanta, Georgia 30309
Phone: (770) 422-8181
Fax: (770) 422-8181
Email: info@gsurveying.com

| | | |
|----------------|-----------------|-------------|
| DRAWING SCALE: | 1" = 20' ± 1/8" | |
| RELEASE DATE: | 05-03-18 | |
| FIELDWORK BY: | RWS | |
| DRAWN BY: | PCG | |
| CHECKED BY: | REVISIONS | |
| NO. | DATE | DESCRIPTION |
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |

**2638 CAROLINA BEACH ROAD
WILMINGTON, NC 284152**

NEW HANOVER COUNTY - NORTH CAROLINA

TOPOGRAPHIC SURVEY FOR

INFINITY ENGINEERING GROUP

PROJECT NO.
18-130-0-0

DRAWING FILE:
18-130-0 SURVEY.DWG

SHEET NO.
S-1

1 OF 1